

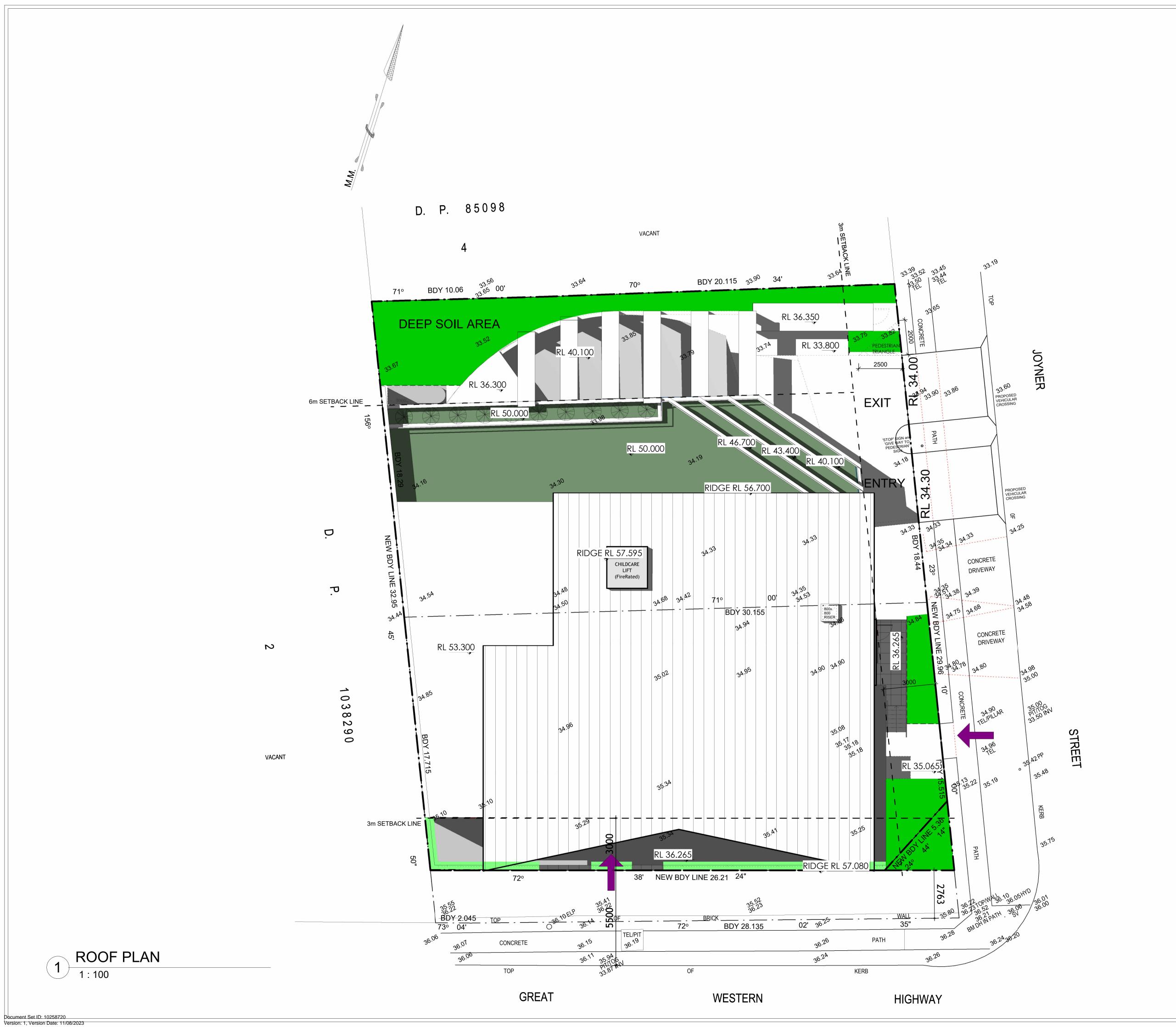
Proposed Commercial Building and Childcare Centre for 17 2 & 2 & 2a Journ

Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

Scale: 1:100@A1

NSW ARB Reg. No.: 6139
Mob: 0413 533 125

Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



Roof Pic

Construction Pty/Ltd

Proposed Commercial Building and Childcare Centre for 17

2 & 2a Journal

(a)

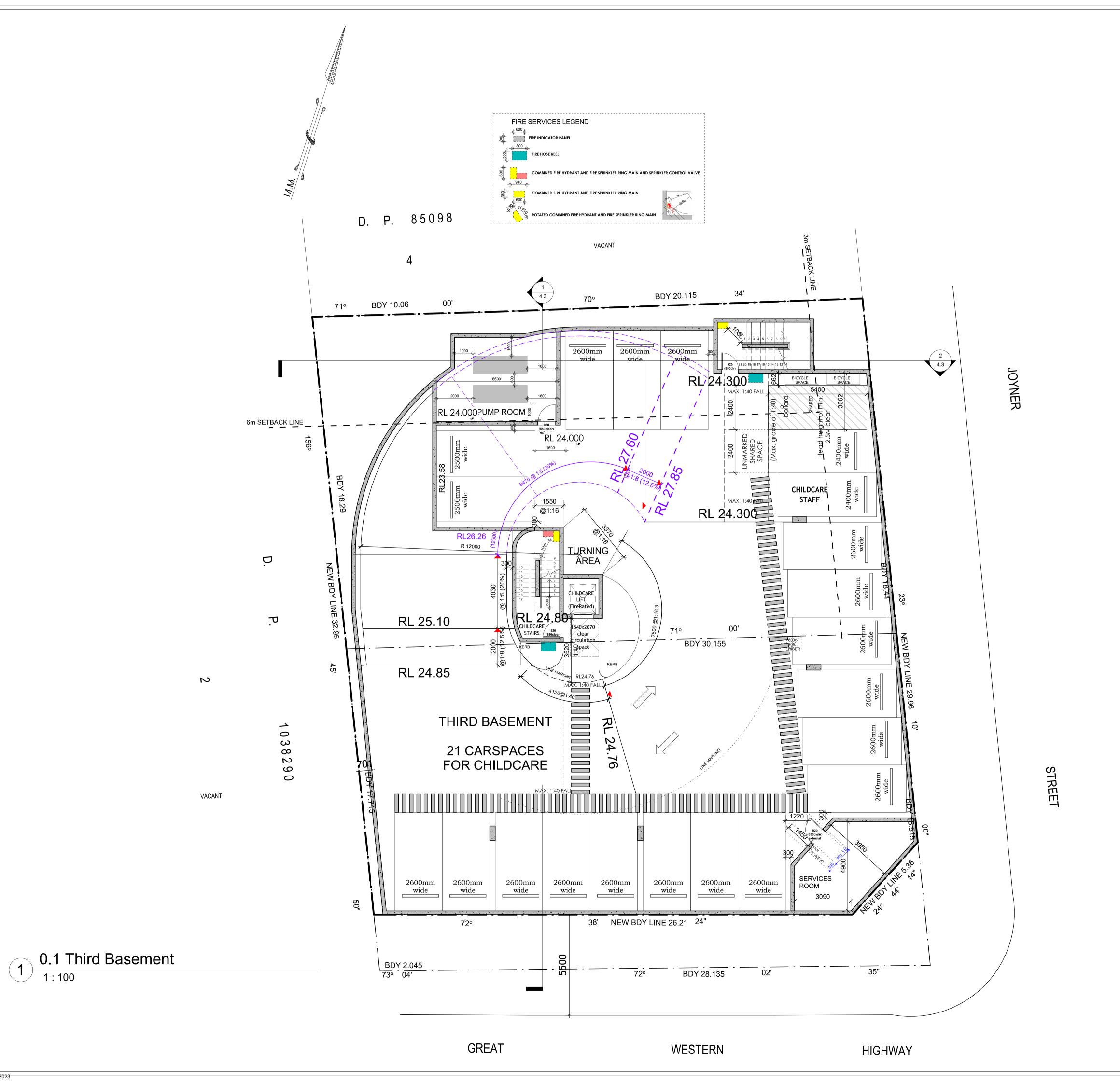
Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

NSW ARB Reg. No.: 6139

Mob: 0413 533 125

Scale: 1:100 @ A1

Drawn by: M.M. Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.

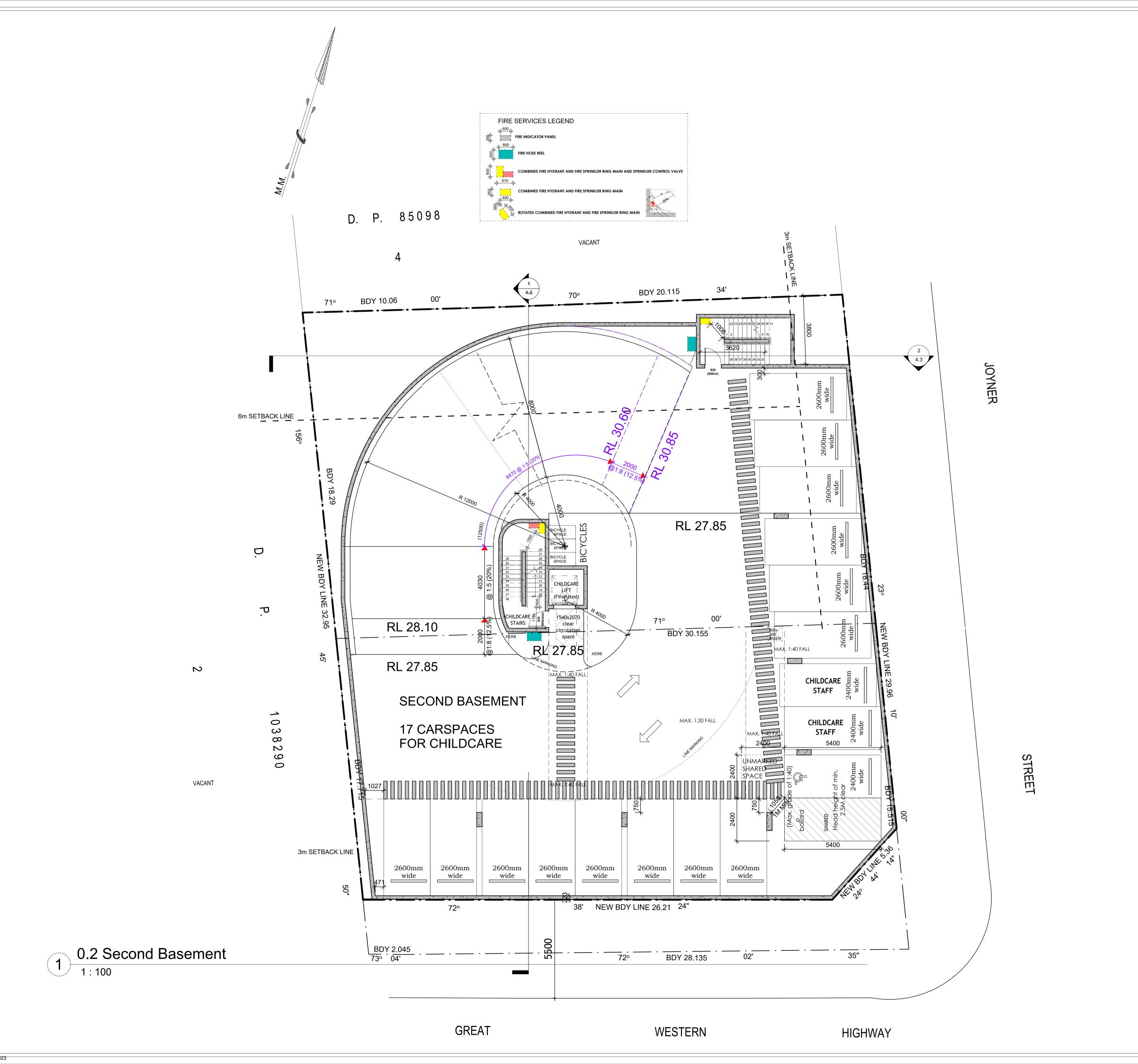


Proposed Commercial Building of Childcare Centre for 17

2 & 2a Journ Nominated Architect: Noura Yammine NSW ARB Reg. No. : 6139

Email: n.yammine@advancedarchitecture as

Scale: 1:100 @ A1 Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



Proposed Commercial Building or Childcare Centre for 47

Nominated Architect: Noura Yammine NSW ARB Reg. No. : 6139

Email: n.yammine@advancedarchitecture care.

Scale: 1:100 @ A1 Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.

7.2.2 Basement Carpark and Associated Driveway

To limit noise impacts from the use of the basement car park and associated driveway to both internal and external receivers, we recommend the following:

- A minimum 1.8m solid barrier is to be installed along the north and north-western boundary of the site. The barrier is to be continuous (i.e., no gaps between the junctions) and be constructed of an imperforate material of surface density $\geq 8 \text{kg/m}^2$ - similar to Colorbond, capped and lapped timber, Perspex, Polycarbonate, 9mm fibrous cement sheet or similar construction with a maximum 20mm gap at the bottom for water flow if required.
- Polished concrete finish is not recommended to the basement car park slab. Broom finish or similar is recommended to prevent tyre squeal.
- Any strip drain must be securely fixed to eliminate metal on metal contact where noise could be
- Isolate any carpark entry door motor from the building structure using Embelton NR mounts or similar.
- Minimise noise from the carpark gate or roller door operation by minimising rattling, and ensuring



WESTERN

HIGHWAY

GREAT

Proposed Commercial Building Childcare Centre for 1 2 & 2a In Nominated Architect: Noura Yammine | NSW ARB Reg. No. : 6139

Scale: 1:100 @ A1 Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.

Version: 1, Version Date: 11/08/2023

2

VACANT

1 FIRST BASEMENT
1:100

ACOUSTIC RECOMMENDATIONS

from the childcare centre (including car park).

7.1 MANAGEMENT CONTROLS

- The facility is not to exceed the 152-child capacity at any time.
- Outdoor play areas can operate at maximum child capacity (all 152 children) at any one time with no restrictions on the duration of use between 7am – 6pm.
- Operable windows and doors in indoor play areas may remain open at all times.
- Signs reminding staff and visitors to minimise noise at all times shall be installed at ingress/egress points
- All staff are to be given appropriate training in relation to acoustic impacts and requirements in terms of operation of the facility.
- Management is to ensure children are supervised at all times to minimise noise generated by the
- Install a contact phone number at the front of the centre so that any complaints regarding the centre operation can be made.
- No amplified music systems are to be in use in external areas at any time.
- Mechanical plant to operate only during operational hours (between 7:00am and 7:00pm).

Table 9 – Minimum Complying Glazing Construction

Level	Space	Minimum Glazing Thickness	Acoustic S
	Commercial Unit 1	6mm	
C	Commercial Unit 2	6mm	
Ground Floor	Commercial Unit 3	6mm	
	Commercial Unit 4 t Floor Indoor Play Area 1 & 3	6mm	
First Floor &	Indoor Play Area 1 & 3	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (east facing)	
Second Floor	Indoor Play Area 2 & 4	10:38mm/100mm airgap/4mm	
	Cot Room	12.5 Vlam Hush	Yes
Third Floor	Indoor Play Area 5 & 7	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (west facing)	
& Fourth Floor	Indoor Play Area 6 & 8	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (east facing)	
Fifth Floor	Admin/Consultation Room/ Meeting Room	12.5 Vlam Hush	

In addition to complying with the minimum scheduled glazing thickness, the R_w rating of the glazing fitted into operable frames and fixed into the building opening should not be lower than the values listed in the table above for all rooms. Where nominated, this will require the use of acoustic seals around the full perimeter of operable frames and the frame will need to be sealed into the building opening using a flexible sealant. Note that mohair seals in windows and doors are not acceptable where acoustic seals are required.

The window/door suppliers should provide evidence that the systems proposed have been tested in a registered laboratory with the recommended glass thicknesses and comply with the minimum listed R_w requirements. Also, the glazing installer should certify that the window/doors have been constructed and installed in a manner equivalent to the tested samples.

Table 10 – Minimum R_w of Glazing

Glazing Assembly	Minimum R _w of Installed Window	Acoustic Seals		
6mm float	29	Yes		
12.5 Vlam Hush	40	Yes		
10:38mm/100mm airgap/4mm	46	Yes		
10:38mm/100mm airgap/6mm	47	Yes		

4.3.2 External Roof/Ceiling Construction

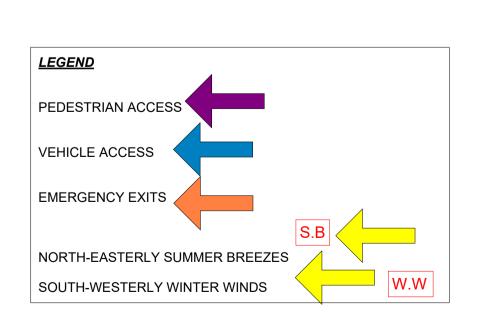
The proposed external roof/ceiling construction is to be of concrete and masonry construction, therefore no further acoustic treatments are required.

4.3.3 External Wall Construction

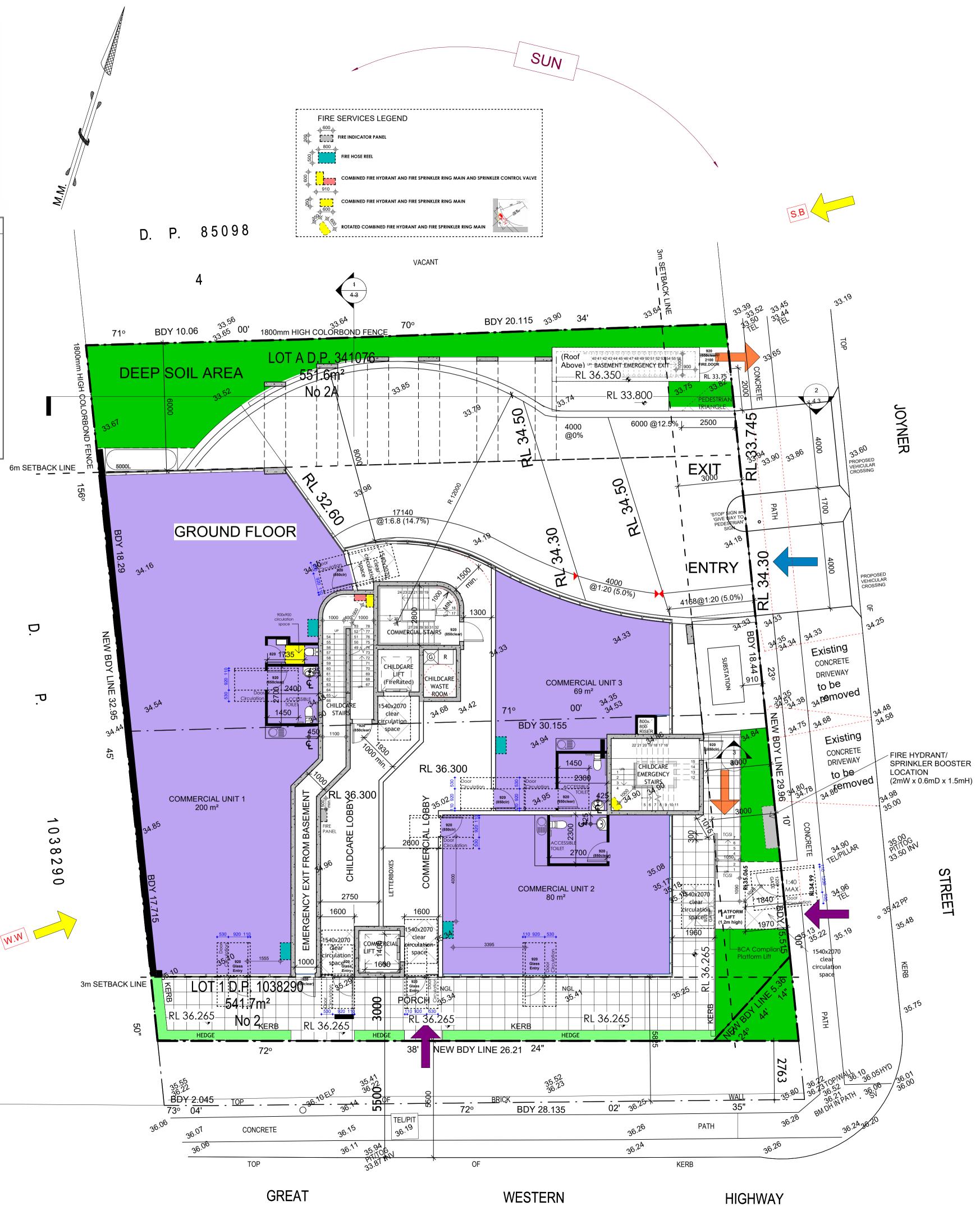
The proposed external wall construction is comprised of concrete or masonry construction. Based on this, no further acoustic upgrades are required.

7.2.1 Barriers

- An internal acoustically imperforate fences of minimum 1.8m height are to be installed along the perimeter of the outdoor play areas across each level of the Childcare Centre. Fences are to be constructed to the minimum heights outlined from the nominated floor level of the outdoor play areas presented in the Elevations/Sections of the architectural drawings.
- The open area on Level 3 and 4 outdoor play areas facing the Great Western Highway is to have a continuous solid barrier (i.e., no gaps between the junctions) of minimum 1.8m height and be constructed of an imperforate material such as glazing, perspex or equal. See Figure 2 for a marked-up







Outdoor Play Area Schedule							
Name	Department	Area	Area Req'd				
O.1	36 children (0-3 years)	274 m²	252				
0.2	36 children (0-3 years)	266 m²	252				
O.3	40 children (3-4 years)	294 m²	280				
0.4	40 children (4-6 years)	281 m²	280				
Grand total	: 4 152 children	1114 m²	1064m²				

Indoor Play Area Schedule							
Name	Staff Req'o						
			•				
	16 children (0-2years)	67 m²	52	4			
	20 children (2-3 years)	66 m²	65	4			
	16 children (0-2years)	67 m²	52	4			
	20 children (2-3 years)	66 m²	65	4			
	20 children (3-4 years)	65 m²	65	2			
	20 children (3-4years)	68 m²	65	2			
	20 children (4-6 years)	65 m²	65	2			
	20 children (4-6years)	68 m²	65	2			
rand total	152 children	533 m²	494m²	24 staff			

Commercial Unit Area Schedule							
Name Area							
COMMERCIAL UNIT 1	200 m ²						
COMMERCIAL UNIT 2	80 m²						
COMMERCIAL UNIT 3	69 m²						
Grand total	349 m²						

1 space per 40m² GFA for Commercial Office Space 1 space per 4 children (as per Child Care Planning Guidelines 2021)

Commercial Office Space GFA = 360m² 360 / 40 = 9 carspaces required Child Care accomodating 152 children 38 carspaces required

47 carspaces required and provided

Area Schedule						
Name	Area					
Ground Floor Internal Area	463 m²					
1st Flr enclosed3sides play.area	73 m²					
1st Flr enclosed play.area2	11 m²					
1st Flr Internal Floor.Area	236 m²					
2nd Flr enclosed3sides play.area	73 m²					
2nd Flr enclosed play.area2	11 m²					
2nd Flr Internal Floor.Area	236 m²					
3rd Flr enclosed3sides play.area	135 m²					
3rd Flr Internal Floor.Area	191 m²					
4th Flr enclosed3sides play.area	135 m²					
4th Flr Internal Floor.Area	191 m²					
5th Flr Internal Floor.Area	204 m²					
Grand total: 12	1957 m²					

Original Site Area: Net Site Area:

1,093.3m²

997m² FSR 1.96:1 (minus the corner splay and public footpath extension

Date: December 2022

Deep Soil Area:

Site Analysis / Site Plan / Ground Floor



Figured dimensions to be taken in preference to scaled Verify all dimensions.

Rev: A (July 2023)

Version: 1, Version Date: 11/08/2023

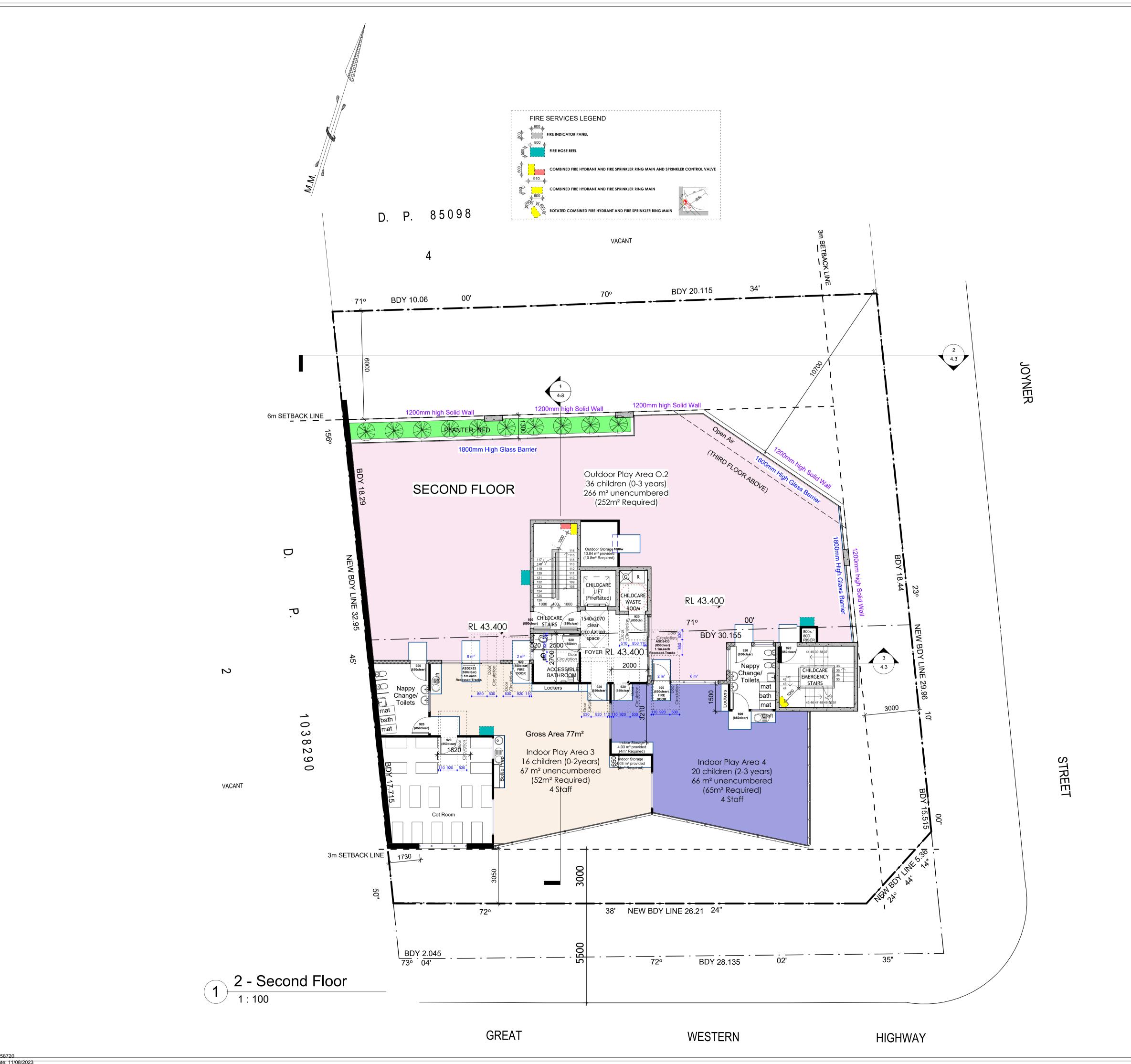


Proposed Commercial Building of Childcare Centre for 17

2 & 2a Journ Nominated Architect: Noura Yammine NSW ARB Reg. No. : 6139

Email: n.yammine@advancedarchitecture com-

Scale: 1:100 @ A1 Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



Proposed Commercial Building of Childcare Centre for 17

2 & 2a Journal

2 & 2a Journal

1. Child Commercial C

Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

NSW ARB Reg. No.: 6139
Mob: 0413 533 125

Scale: 1:100 @ A1

Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



Proposed Commercial Building of Childcare Centre for 17

2 & 2a Journ

(1) Noura Yammine NSW ARB Reg. No.: 6139

7	Nominated Architect: Noura Familine	NSW ARB Reg. No. : 6139
- G	Email : n.yammine@advancedarchitecture.com.au	Mob: 0413 533 125
ınc	Scale: 1:100 @ A1	Drawn by: M.M
dva	Date: December 2022	Rev: A (July 2023)
ळ	Figured dimensions to be taken in preference to scaled Verify all dimensions.	Drawing No: 999289- 3.4



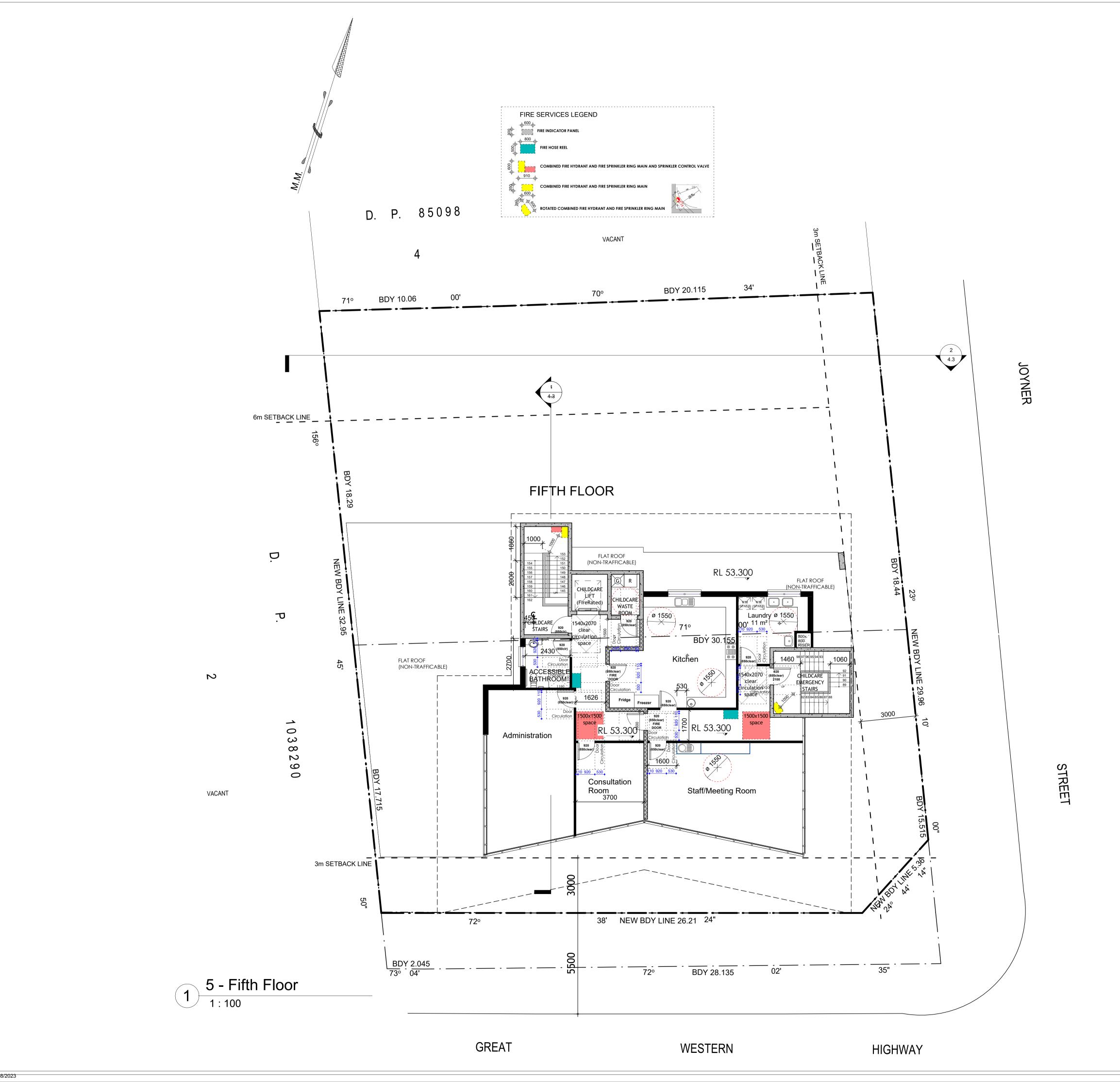
Proposed Commercial Building of Childcare Centre for 17

2 & 2 & 2a Journ Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

NSW ARB Reg. No.: 6139
Mob: 0413 533 125

Scale: 1:100 @ A1

Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



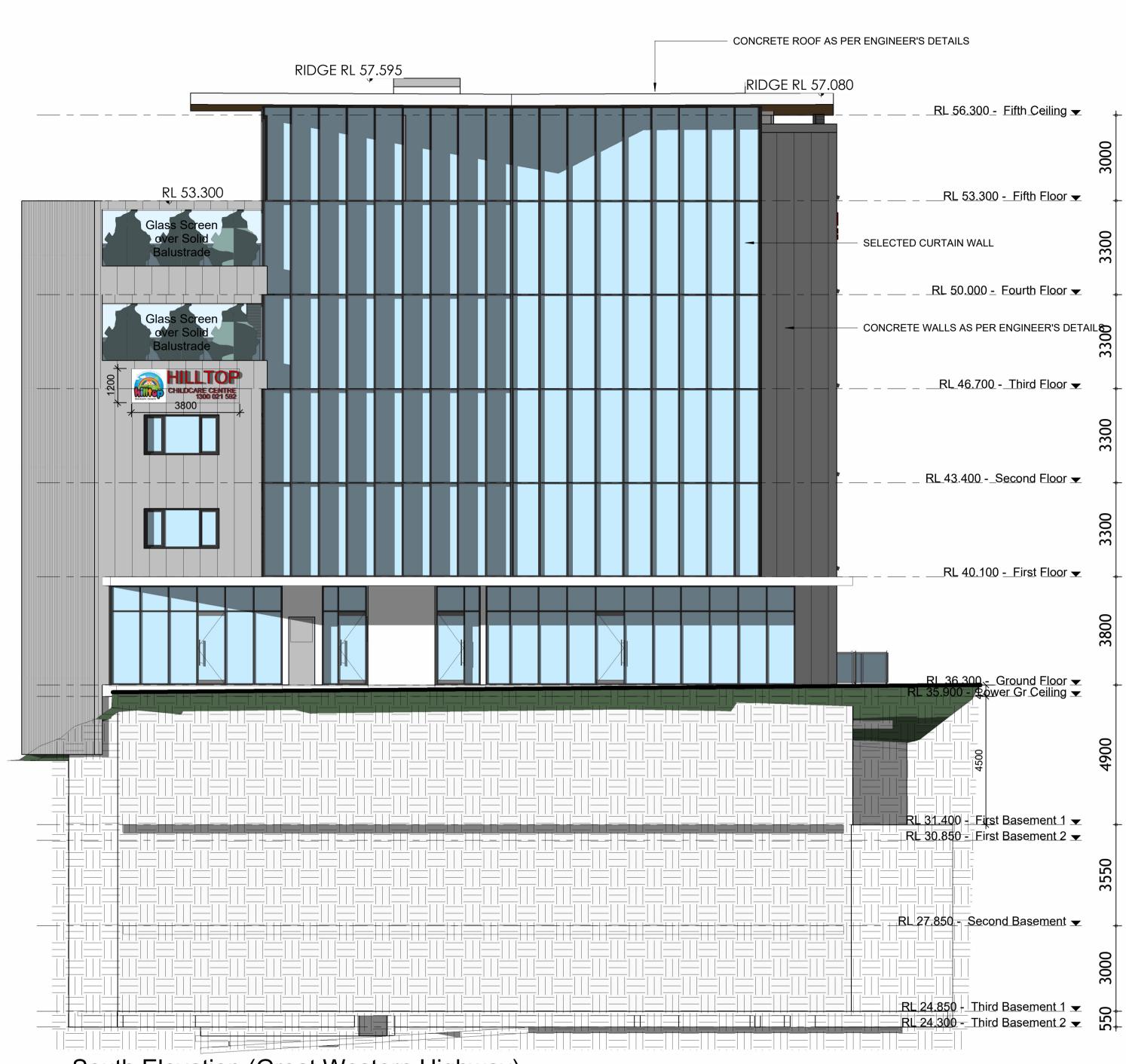
Proposed Commercial Building and Childcare Centre for 17

Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

Scale: 1:100@A1

NSW ARB Reg. No.: 6139
Mob: 0413 533 125

Drawn by: M.M Rev: A (July 2023) Figured dimensions to be taken in preference to scaled Verify all dimensions.



South Elevation (Great Western Highway)

ACOUSTIC RECOMMENDATIONS

Table 9 – Minimum Complying Glazing Construction

Level	Space	Minimum Glazing Thickness	Acoustic Seals
	Commercial Unit 1	6mm	
Comment Florer	Commercial Unit 2	6mm	
Level Ground Floor First Floor & Second Floor Third Floor & Fourth Floor	Commercial Unit 3	6mm	
	Commercial Unit 4	6mm	
	Indoor Play Area 1 & 3	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (east facing)	
Second Floor	Indoor Play Area 2 & 4	10:38mm/100mm airgap/4mm	
	Cot Room	12.5 Vlam Hush	Yes
	Indoor Play Area 5 & 7	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (west facing)	
	Indoor Play Area 6 & 8	10:38mm/100mm airgap/6mm (south facing) 10:38mm/100mm airgap/4mm (east facing)	
Fifth Floor	Admin/Consultation Room/ Meeting Room	12.5 Vlam Hush	

In addition to complying with the minimum scheduled glazing thickness, the R_w rating of the glazing fitted into operable frames and fixed into the building opening should not be lower than the values listed in the table above for all rooms. Where nominated, this will require the use of acoustic seals around the full perimeter of operable frames and the frame will need to be sealed into the building opening using a flexible sealant. Note that mohair seals in windows and doors are not acceptable where acoustic seals are required.

The window/door suppliers should provide evidence that the systems proposed have been tested in a registered laboratory with the recommended glass thicknesses and comply with the minimum listed R_w requirements. Also, the glazing installer should certify that the window/doors have been constructed and installed in a manner equivalent to the tested samples.

Table 10 – Minimum R_w of Glazing

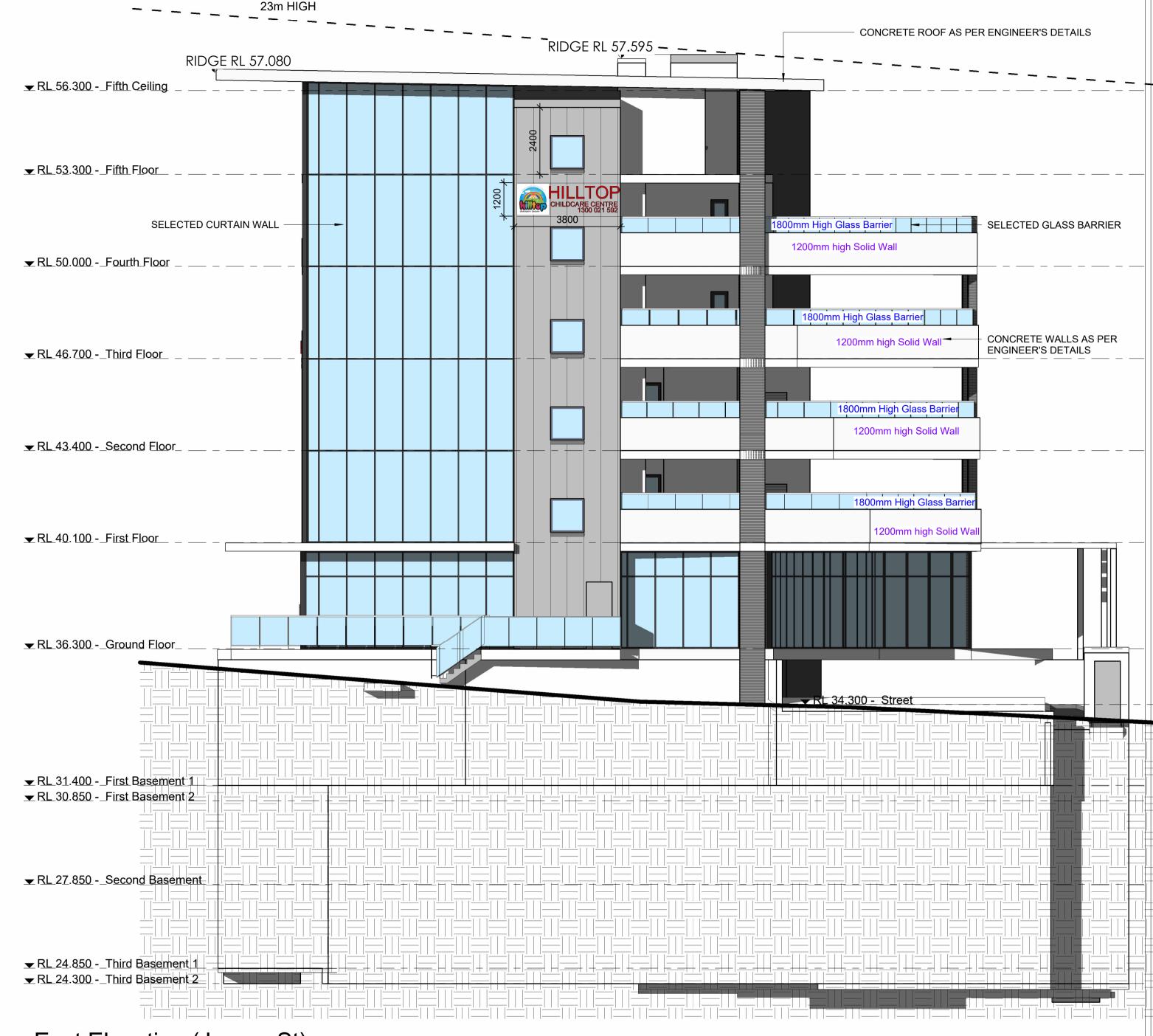
Glazing Assembly	Minimum R _w of Installed Window	Acoustic Seals
6mm float	29	Yes
12.5 Vlam Hush	40	Yes
10:38mm/100mm airgap/4mm	46	Yes
10:38mm/100mm airgap/6mm	47	Yes

4.3.2 External Roof/Ceiling Construction

The proposed external roof/ceiling construction is to be of concrete and masonry construction, therefore no further acoustic treatments are required.

4.3.3 External Wall Construction

The proposed external wall construction is comprised of concrete or masonry construction. Based on this, no further acoustic upgrades are required.

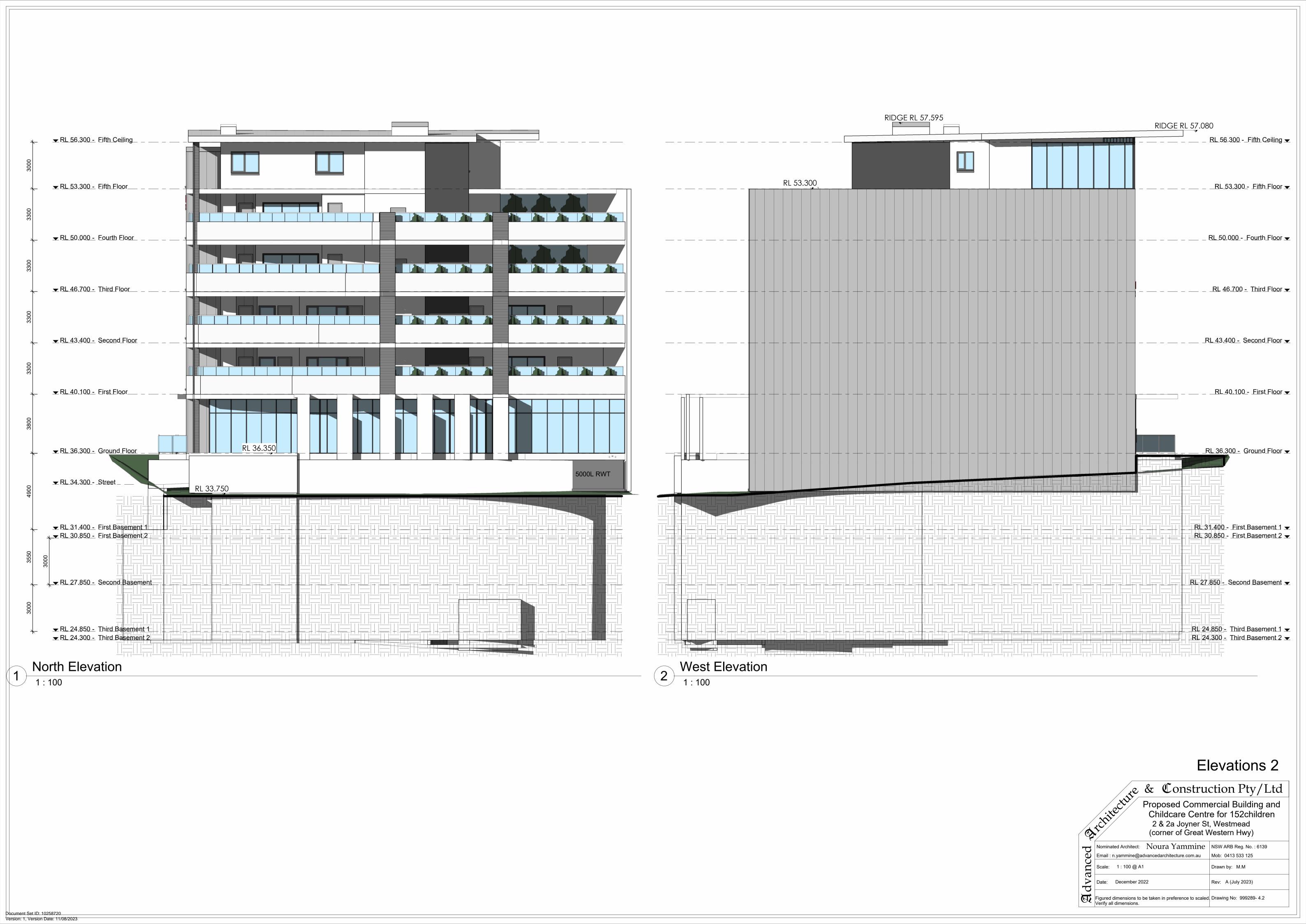


East Elevation (Joyner St)

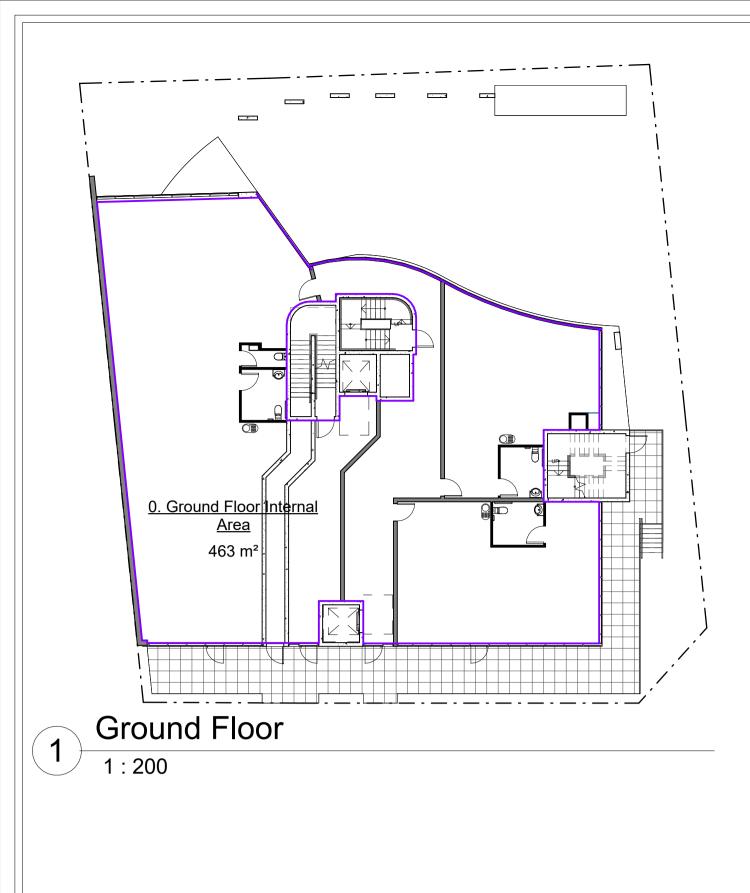


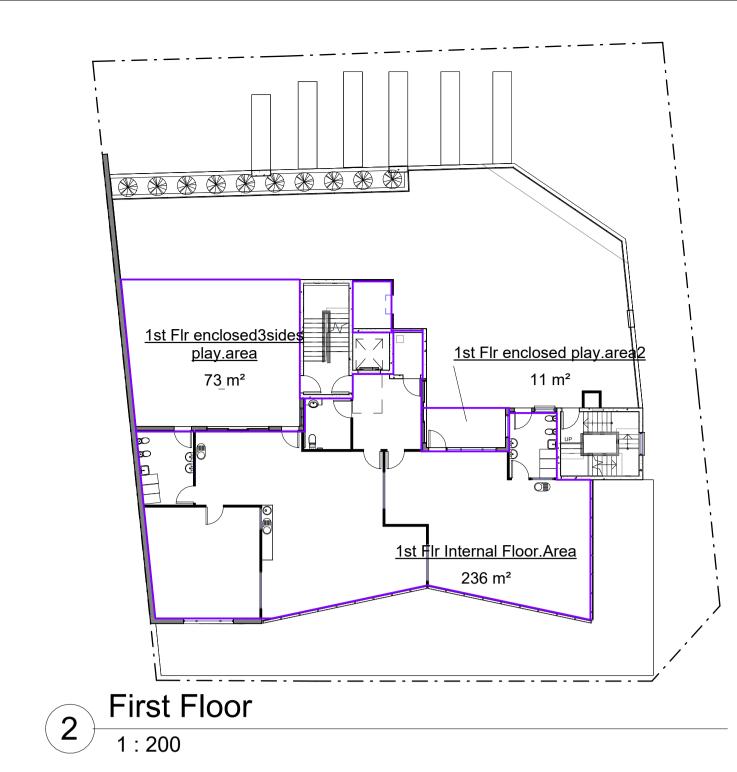
Figured dimensions to be taken in preference to scaled Verify all dimensions.

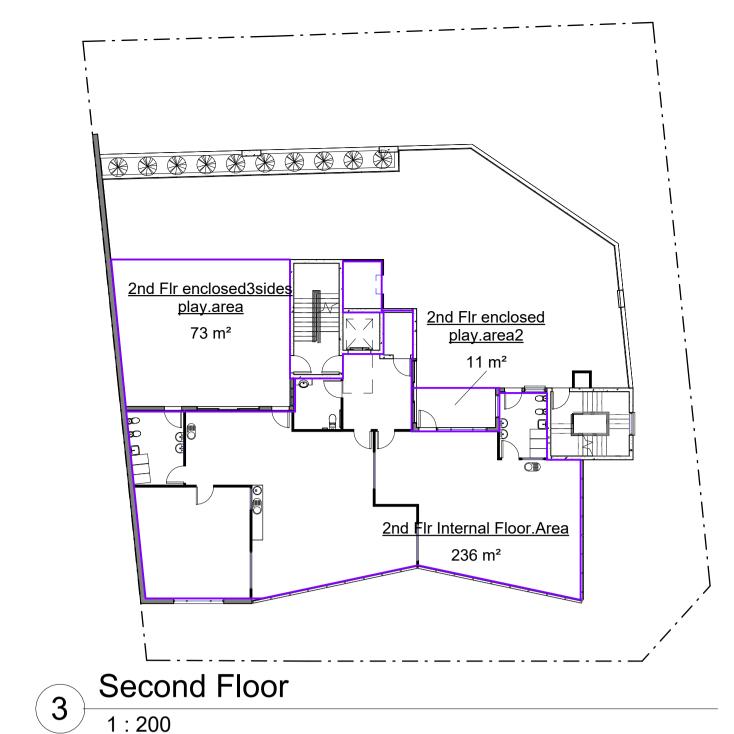
Drawing No: 999289- 4.1

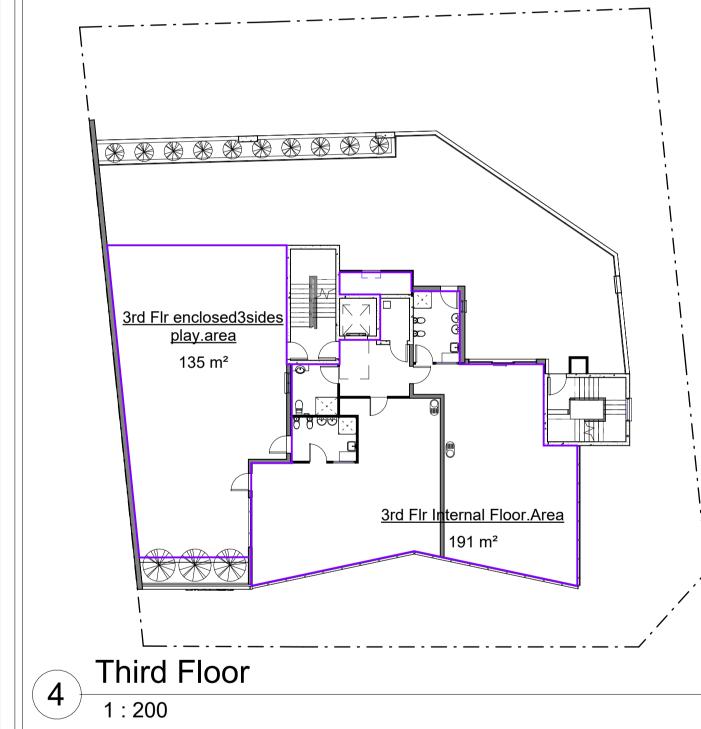


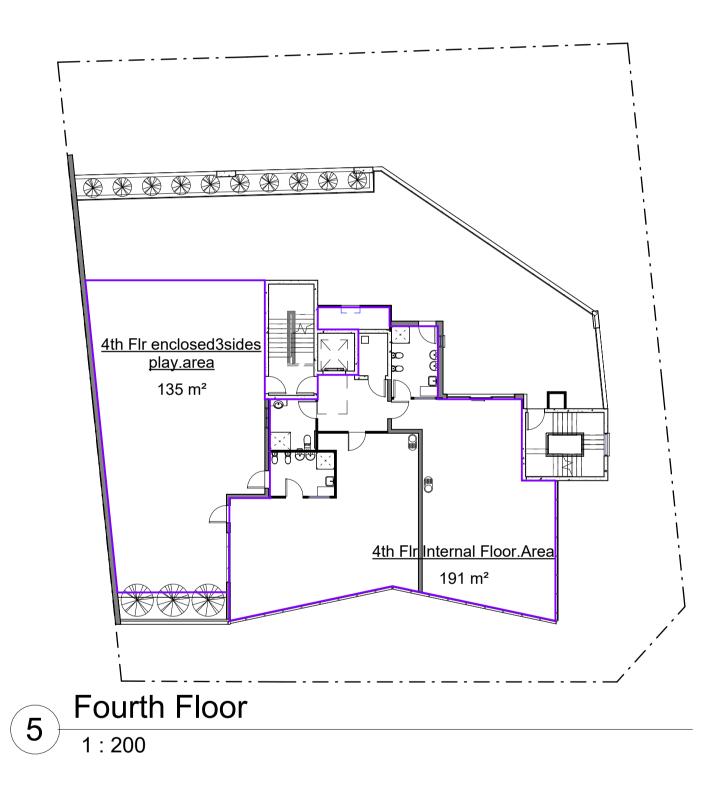


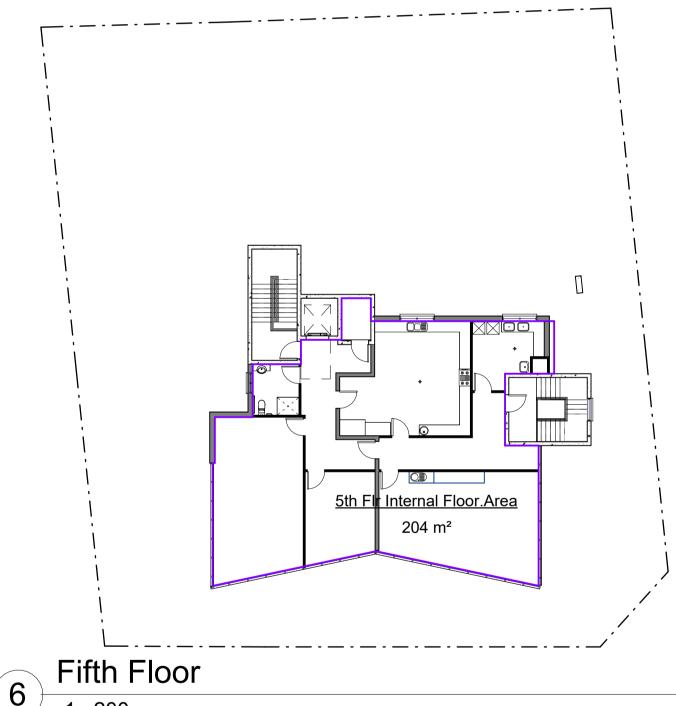












0. Ground Floor Internal Area 463 m² 1st Flr enclosed3sides play.area 73 m² 1st Flr enclosed play.area2 11 m² 1st Flr Internal Floor.Area 236 m² 2nd Flr enclosed3sides play.area 73 m² 2nd Flr enclosed play.area2 11 m² 2nd Flr Internal Floor.Area 236 m² 3rd Flr enclosed3sides play.area 135 m² 3rd Flr Internal Floor.Area 191 m² 4th Flr enclosed3sides play.area 135 m² 4th Flr Internal Floor.Area 191 m² 5th Flr Internal Floor.Area 204 m²



Area Schedule

Area

1957 m²

Name

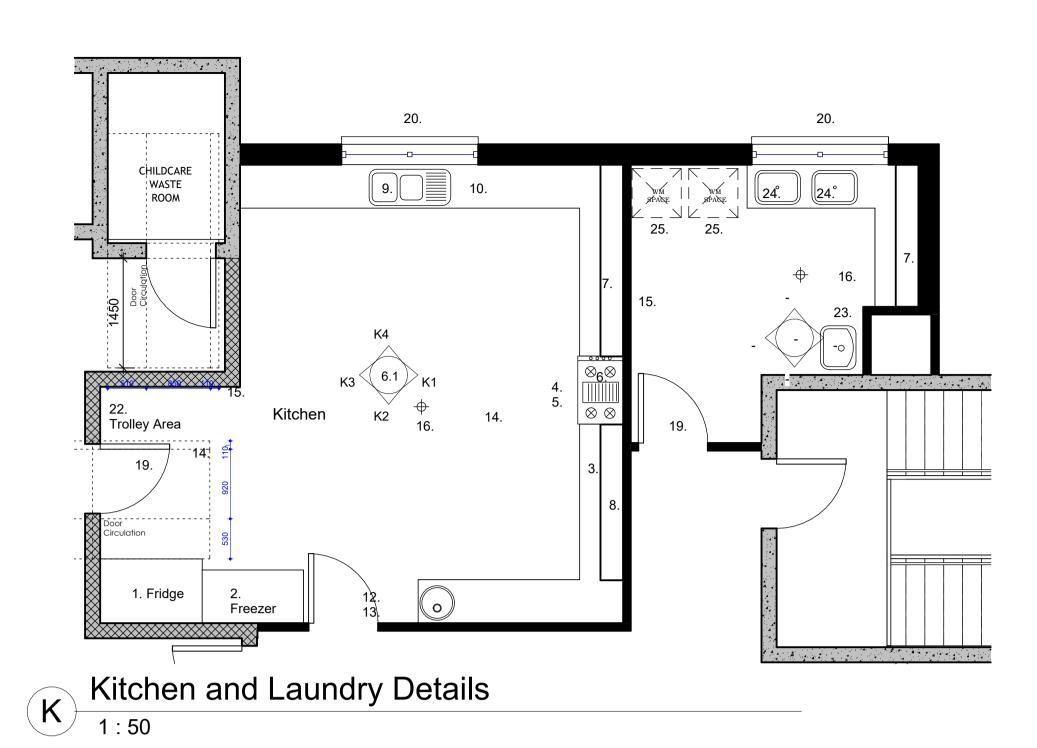
Grand total: 12

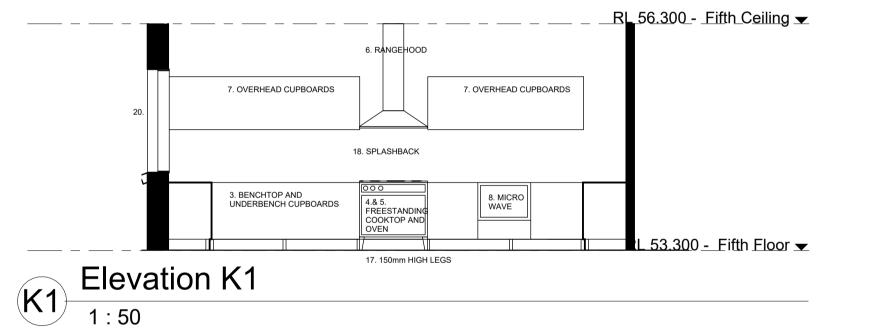
Nominated Architect: Noura Yammine
Email: n.yammine@advancedarchitecture.com.au

NSW ARB Reg. No.: 6139
Mob: 0413 533 125

Scale: 1:200 @ A1

Drawn by: M.M Date: December 2022 Rev: A (July 2023) Figured dimensions to be taken in preference to scaled. Drawing No: 999289- 4.4 Verify all dimensions.



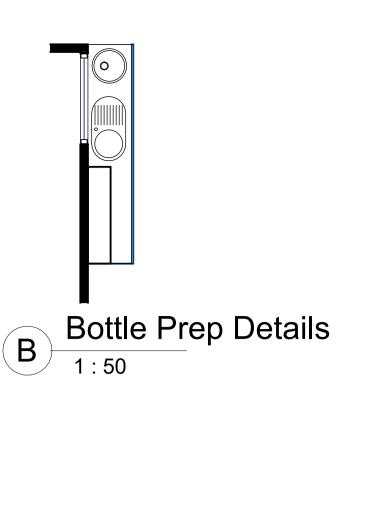


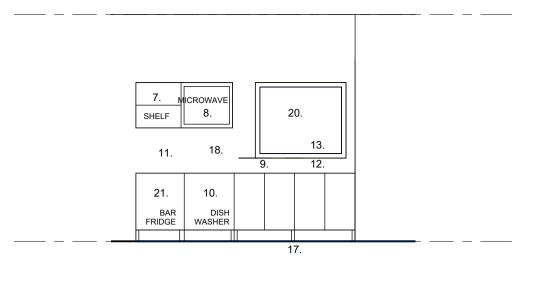
Elevation K3

Version: 1, Version Date: 11/08/2023

- FRIDGE SPACE
- FREEZER SPACE
- STAINLESS STEEL BENCHTOP AND CUPBOARDS UNDERNEATH
 - 3a. BENCHTOP AND CUPBOARDS UNDERNEATH
- COOKTOP (freestanding oven/cooktop)
- OVEN (freestanding oven/cooktop)
- RANGEHOOD
- OVERHEAD CUPBOARDS
- MICROWAVE
- KITCHEN SINK
- DISHWASHER
- POWER POINTS (for bottle warmer and bottle steriliser)
- WASH BASIN FOR STAFF (with hands-free tap, and warm potable water)
- SOAP DISPENSER
- VINYL FLOORING OVER CONCRETE SLAB (with appropriate fall to floor waste)
- COVING (WHERE WALL TILES MEET FLOOR TILES)
- FLOOR WASTE
- ALL CUPBOARDS AND APPLIANCES TO HAVE 150MM HIGH LEGS
- STAINLESS STEEL/TILED SPLASHBACK
- DOOR
- WINDOW
- BAR FRIDGE
- TROLLEY AREA
- **CLEANER'S SINK**
- LAUNDRY SINK
- WASHING/DRYER COMBO

The design, construction, and fitout of the food premises must comply with AS 4674 - 2004



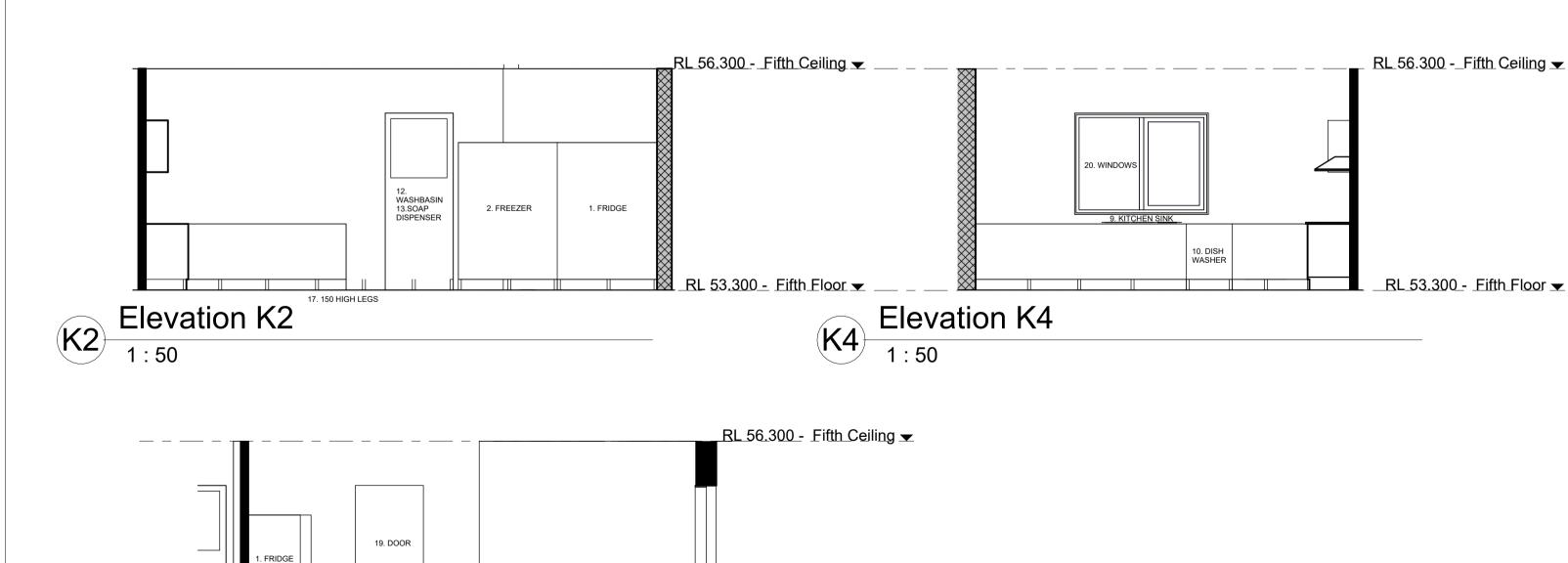


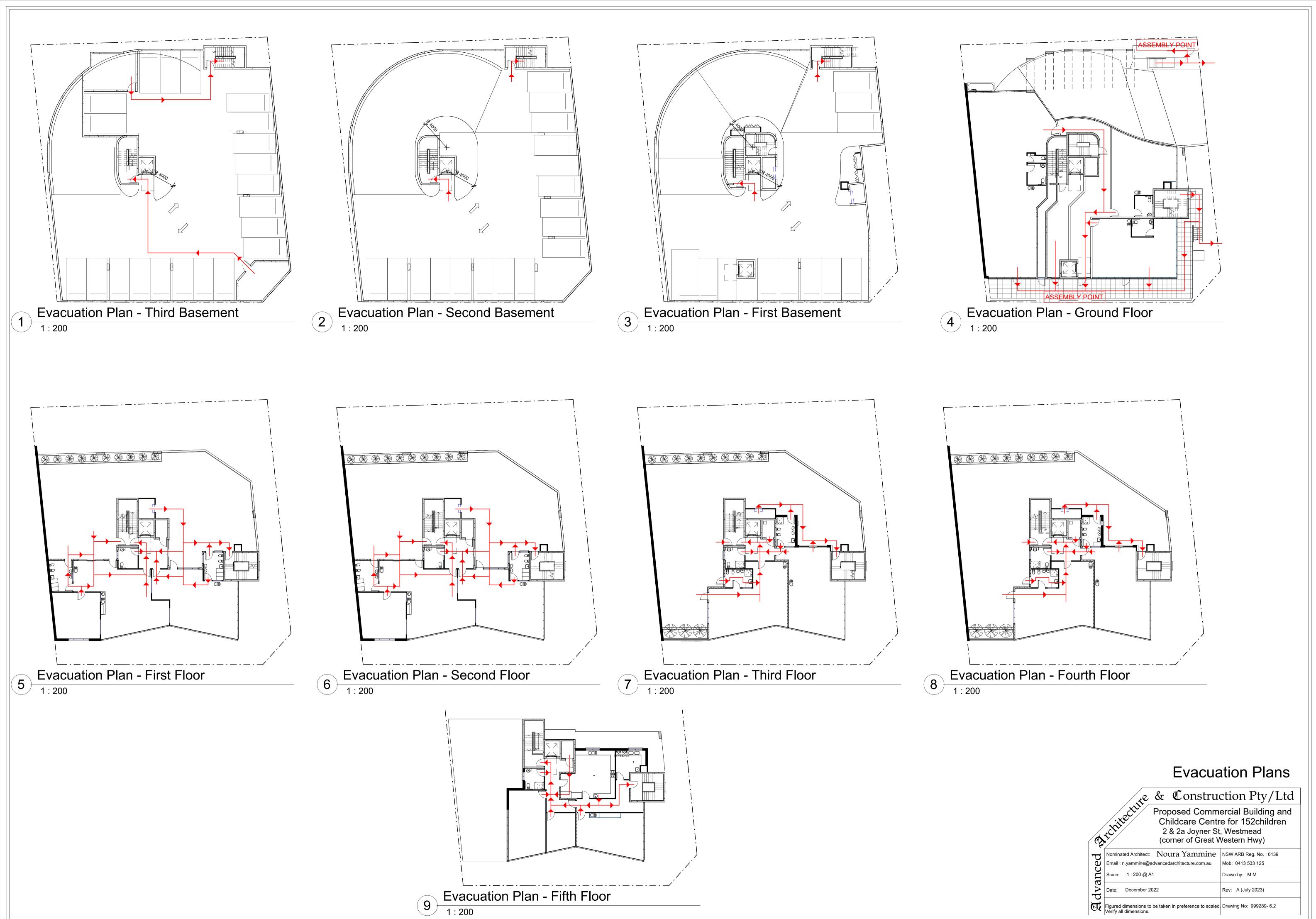
Elevation B1





Figured dimensions to be taken in preference to scaled Verify all dimensions.





Version: 1, Version Date: 11/08/20



DIAL BEFORE NO SUBSURFACE INVESTIGATION HAS YOUDIG

BEEN MADE IT IS YOUR RESPONSIBILITY

TO OBTAIN SERVICE DIAGRAMS FROM www. 100.com.au | RELEVANT AUTHORITIES

1m 0 1 2 3 4 5m

Revisions

CUMBERLAND CITY COUNCIL

EROSION CONTROL NOTES

- 1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- 2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.
- 3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS 4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE
- RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT. 5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

- 1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.
- 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY. 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE.
- 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT 300 CENTRES.
- 6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY
- OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS. 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND
- OUTSIDE (AS1170.2). 8. ALL EXTERNAL SLABS TO BE WATERPROOFED.
- 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010. 10. ALL GRATES TO HAVE CHILD PROOF LOCKS.
- 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS. 12. ALL DP'S TO HAVE LEAF GUARDS
- 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
- 14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION. 15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED
- INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL. 16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018.
- 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS NECESSARY.
- 18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

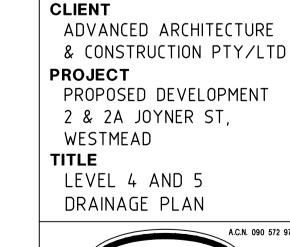
SYMBOLS

	<u> </u>
F.F.L.	FINISHED FLOOR LEVEL
F.G.L.	FINISHED GARAGE LEVEL
T.K.	TOP OF KERB
* 11.0	FINISHED LEVEL
+ 11.0	EXISTING LEVEL
S.L.	SURFACE LEVEL
I.L.	INVERT LEVEL
20 R	ROOF CATCHMENT AREA (m2)
20	IMPERVIOUS CATCHMENT AREA (m2)
20 L	LANDSCAPED CATCHMENT AREA (m2)
• DP	Ø100 DOWN PIPE OR EQUIVALENT
∮ SP	SPREADER
• VD	VERTICAL DROP
• VR	VERTICAL RISER
lacktriangle	RAIN WATER HEAD & DOWN PIPE
\otimes	CLEAN OUT POINT
$\ensuremath{ riangle}$ SUMP	Ø 150 SUMP
	CONCRETE COVER JUNCTION PIT
	GRATED INLET PIT 450×450

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE STORMWATER PIPE

SUSPENDED STORMWATER PIPE CHARGED STORMWATER PIPE PUMP LINE

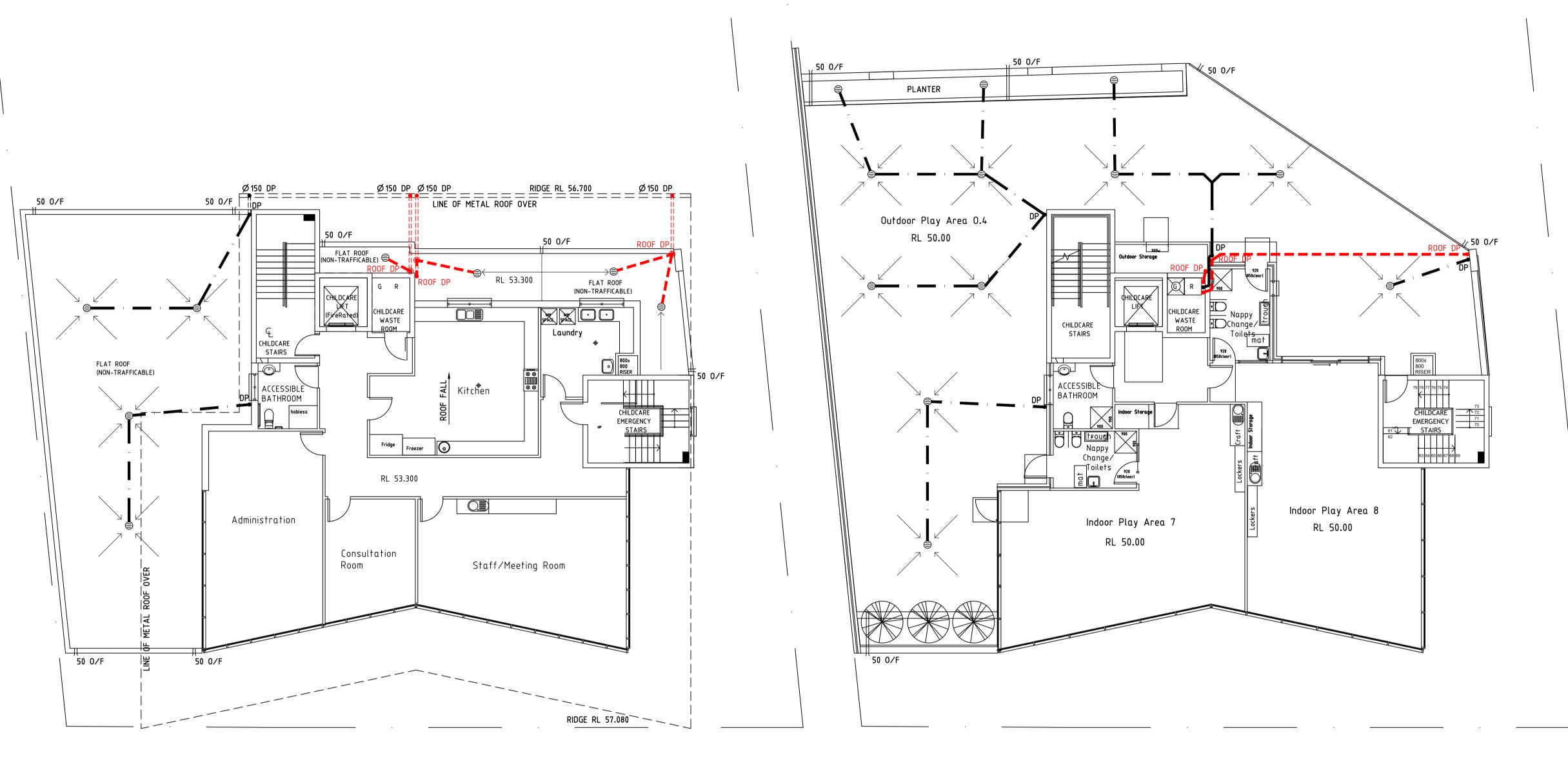
Ø 100 SUBSOIL PIPE SILT FENCE OVERLAND FLOW





UNITED CONSULTING ENGINEERS PTY LTD Civil/Structural Engineers Office 1, 147-153 Liverpool Road, Burwood NSW, 2134 Telephone: (02) 9715 5111 Facsimile: (02) 9715 6222 Mobile: 0411 453 012 Email: united_eng@bigpond.com

Mark Anthony Boudib MIEAust, CPEng, NER North Designed MAB Drawn F.B. Checked MAB Scale 1:100 U.N.O.



LEVEL 5 DRAINAGE PLAN

WATERPROOFING NOTES: ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010 WATERPROOF ALL EXTERNAL SLABS.

• ALL FALLS TO BE ADDED TO MINIMUM SLAB THICKNESS SHOWN ON PLAN. PROVIDE VARYING SIZED CHAIRS TO MATCH SLOPE. FLOOR FINISHES TO ARCHITECT DETAILS.

MIN 70MM VERTICAL TERMINATION HEIGHTS AT BALCONIES BETWEEN INSIDE

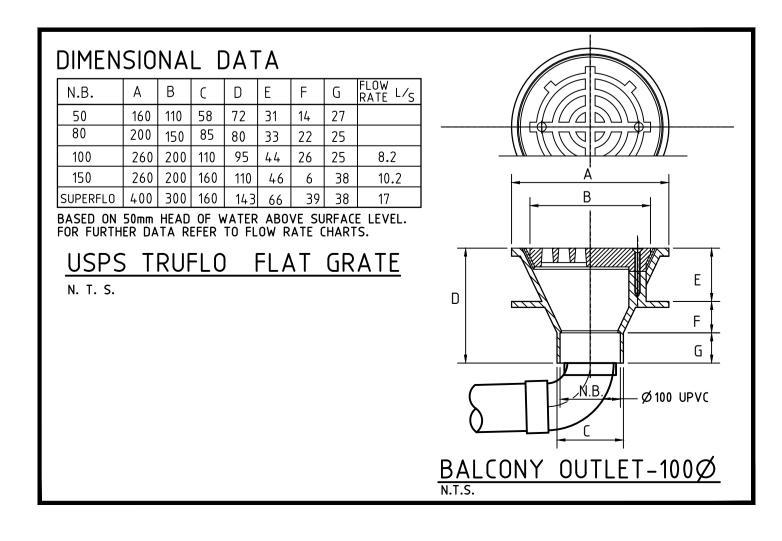
AND OUTSIDE (FINISHED HEIGHTS) FOR: REGION A2, TERRAIN CATEGORY 3, VR:

STEP DOWNS, DAMP COURSES, FLASHING AND WEEP

SHALL COMPLY WITH CURRENT BCA REQUIREMENTS.

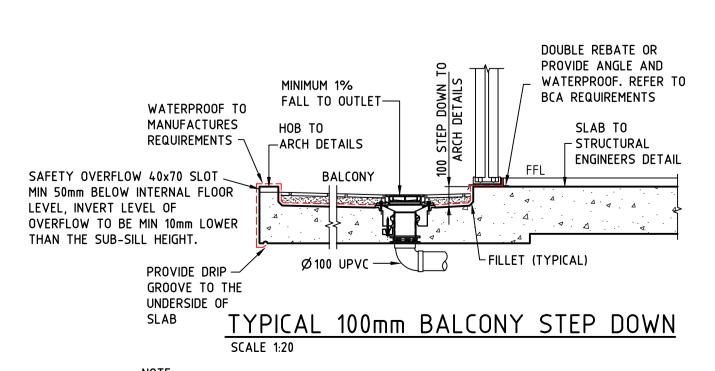
HOLES ARE THE BUILDERS RESPONSIBILITY AND

REFER TO DRAWING NUMBER: 21MB9106/D04 FOR DETAILS



LEVEL 4 DRAINAGE PLAN

SUMP LOCATIONS ARE TYPICAL ON LEVELS 3 AND 4

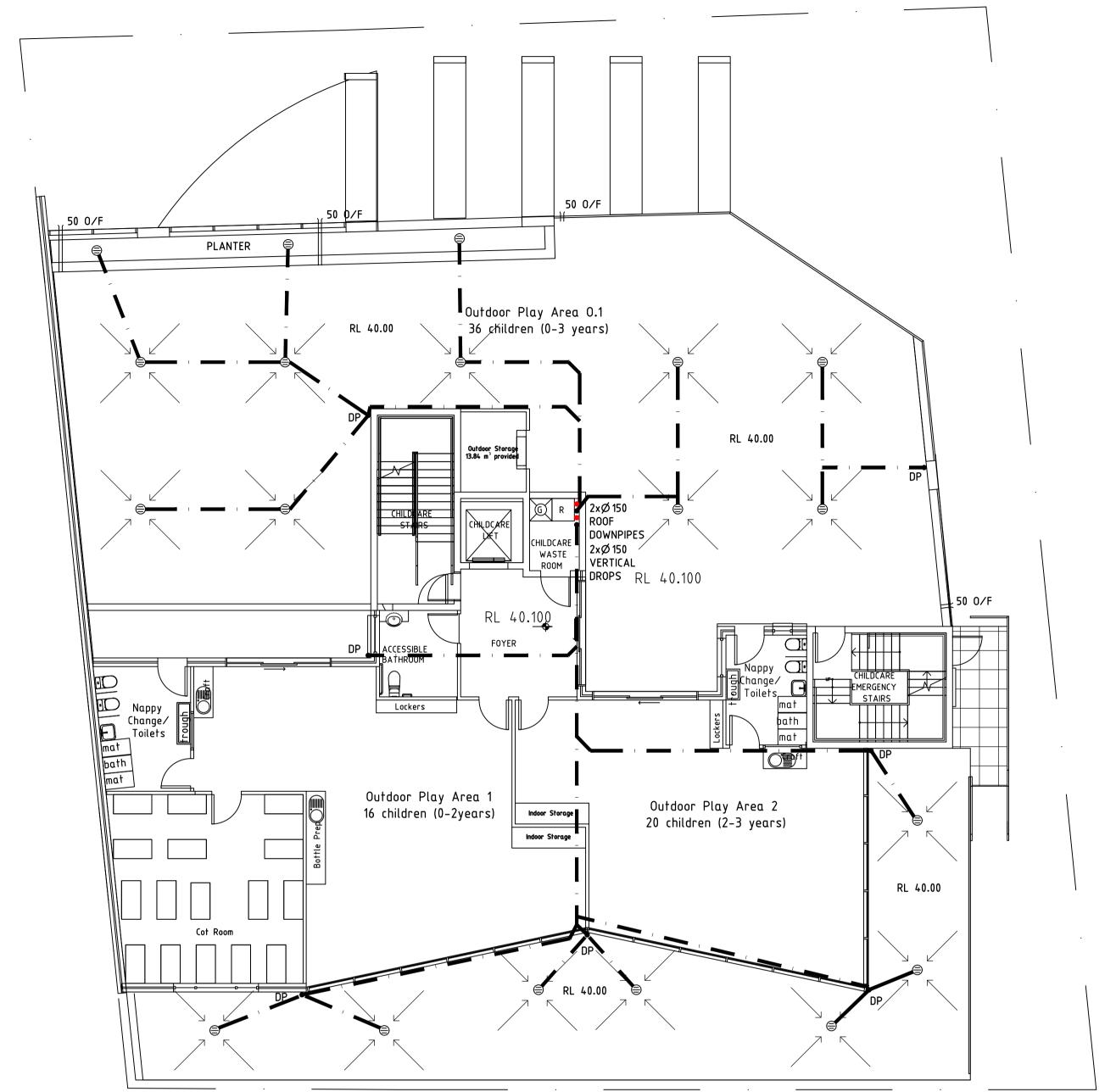


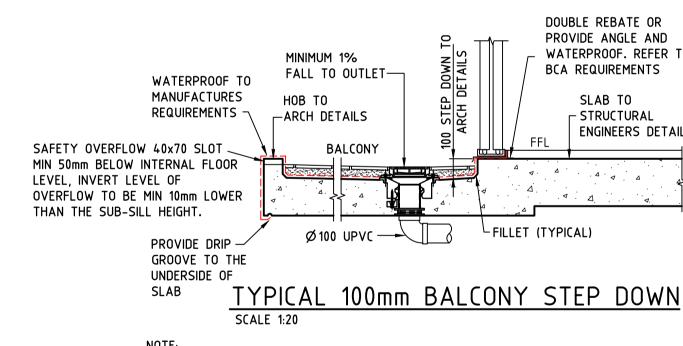
SLAB AND WALLS TO STRUCTURAL ENGINEERS DETAIL.

USE SPS DRAINS & WATER STOPS IN PLANTERS AND MAIN FLOOR AREA

REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR PLANTER DETAILS & WALL HEIGHTS WATERPROOF WALLS, SLABS & DOORS AND WINDOWS TO AS4654.2-2012 AND ALL BCA REQUIREMENTS

CONTRACTOR TO PROVIDE FILLETS AT CORNERS AND BOND BREAKERS AT EXPANSION JOINTS





1. SLAB AND WALLS TO STRUCTURAL ENGINEERS DETAIL.

USE SPS DRAINS & WATER STOPS IN PLANTERS AND MAIN FLOOR AREA REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR PLANTER DETAILS & WALL HEIGHTS 4. WATERPROOF WALLS, SLABS & DOORS AND WINDOWS TO AS4654.2-2012 AND ALL BCA REQUIREMENTS

5. CONTRACTOR TO PROVIDE FILLETS AT CORNERS AND BOND BREAKERS AT EXPANSION JOINTS

WATERPROOF. REFER TO ENGINEERS DETAIL

 $\langle]$

PROVIDE ANGLE AND

1m 0 1 2 3 4 5m

EROSION CONTROL NOTES

DURING CONSTRUCTION.

EARTHWORKS.

300 CENTRES.

OUTSIDE (AS1170.2).

CONSTRUCTION.

NECESSARY.

SYMBOLS

F.F.L.

F.G.L.

T.K.

* 11.0

+ 11.0

S.L.

I.L.

20 I

20 L

VR

BUILDINGS. PAVEMENTS ETC.

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED

2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR

3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS

4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH

1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED. 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY

ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY. 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE. 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT

6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY

7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND

9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.

13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO

14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL

15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED

16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018.

DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING

PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS

INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED.

18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND

8. ALL EXTERNAL SLABS TO BE WATERPROOFED.

11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.

10. ALL GRATES TO HAVE CHILD PROOF LOCKS.

12. ALL DP'S TO HAVE LEAF GUARDS

PROVISIONS AND AS 3500.3 2018.

FINISHED FLOOR LEVEL

TOP OF KERB

FINISHED LEVEL

EXISTING LEVEL

SURFACE LEVEL

INVERT LEVEL

SPREADER

VERTICAL DROP

VERTICAL RISER

CLEAN OUT POINT

Ø 150 SUMP

FINISHED GARAGE LEVEL

ROOF CATCHMENT AREA (m2)

IMPERVIOUS CATCHMENT AREA (m2)

LANDSCAPED CATCHMENT AREA (m2)

Ø 100 DOWN PIPE OR EQUIVALENT

RAIN WATER HEAD & DOWN PIPE

CONCRETE COVER JUNCTION PIT

CLIENT

PROJECT

TITLE

WESTMEAD

GRATED INLET PIT 450x450

PRIOR TO CONSTRUCTION.

OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

THE REQUIREMENTS OF THE CLEAN WATERS ACT. 5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY

DIAL BEFORE | NO SUBSURFACE INVESTIGATION HAS YOU DIG | BEEN MADE IT IS YOUR RESPONSIBILITY TO OBTAIN SERVICE DIAGRAMS FROM

CUMBERLAND CITY COUNCIL

www.1100.com.au | RELEVANT AUTHORITIES

Revisions

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE STORMWATER PIPE SUSPENDED STORMWATER PIPE CHARGED STORMWATER PIPE

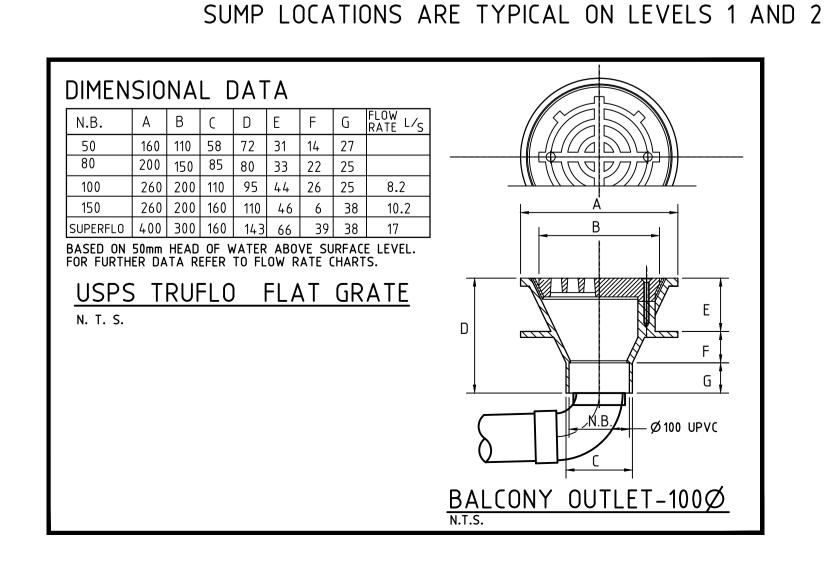
PUMP LINE Ø100 SUBSOIL PIPE SILT FENCE OVERLAND FLOW

WATERPROOFING NOTES: ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010

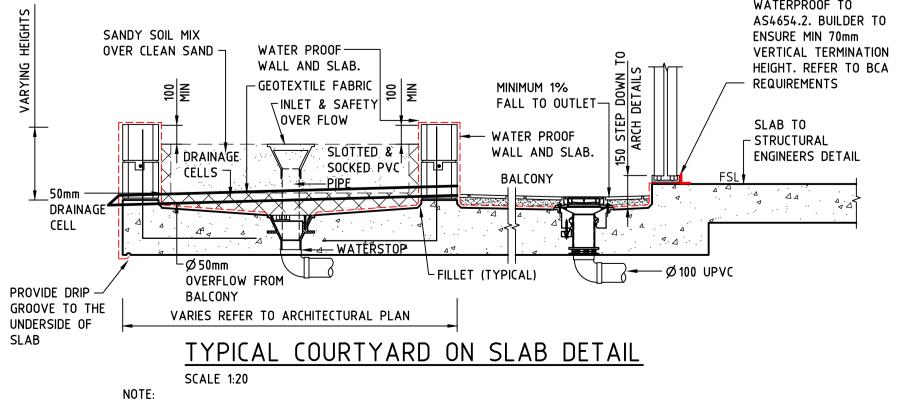
- WATERPROOF ALL EXTERNAL SLABS. • ALL FALLS TO BE ADDED TO MINIMUM SLAB THICKNESS SHOWN ON PLAN.
- PROVIDE VARYING SIZED CHAIRS TO MATCH SLOPE.
- FLOOR FINISHES TO ARCHITECT DETAILS. MIN 70MM VERTICAL TERMINATION HEIGHTS AT BALCONIES BETWEEN INSIDE AND OUTSIDE (FINISHED HEIGHTS) FOR: REGION A2, TERRAIN CATEGORY 3, VR:

STEP DOWNS, DAMP COURSES, FLASHING AND WEEP HOLES ARE THE BUILDERS RESPONSIBILITY AND SHALL COMPLY WITH CURRENT BCA REQUIREMENTS.

REFER TO DRAWING NUMBER: 21MB9106/D04 FOR DETAILS



LEVEL 1 DRAINAGE PLAN



- 2. USE SPS DRAINS & WATER STOPS IN PLANTERS AND MAIN FLOOR AREA
- 3. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR PLANTER DETAILS & WALL HEIGHTS 4. WATERPROOF WALLS, SLABS & DOORS AND WINDOWS TO AS4654.2-2012 AND ALL BCA REQUIREMENTS

5. CONTRACTOR TO PROVIDE FILLETS AT CORNERS AND BOND BREAKERS AT EXPANSION JOINTS

VARYING HEIGHTS			SOIL ELEAN	SAND	١	١	SLAB. E FABRIC & SAFETY	1015			NIMUM 19 LL TO C	% OUTLET—	DETAILS			WATERPROOF TO AS4654.2. BUILDER TO ENSURE MIN 70mm VERTICAL TERMINATION HEIGHT. REFER TO BCA REQUIREMENTS
<u> </u>	50mm DRAINAGE CELL		4	DRAINAG CELLS 7	A A		SLOTTED SOCKED -PIPE 	PVC'	FILL	WA	TER PROLL AND ALCONY		150 STEP	— Ø 10	FSLV	SLAB TO - STRUCTURAL ENGINEERS DETAIL
R00	IDE DRIP — IVE TO THE RSIDE OF	-	V		fer '	TO ARCHIT			-			DET	ـــ ۵۱L			
		NOT 1.	SLAE	SCALE 1:	20 ALLS	TO STRUC	TURAL EI	NGINEEF	RS DET	AIL.						

LEVEL 1 DRAINAGE PLAN A.C.N. 090 572 973 UNITED UNITED CONSULTING ENGINEERS PTY LTD Civil/Structural Engineers Office 1, 147-153 Liverpool Road, Burwood NSW, 2134 Telephone: (02) 9715 5111 Facsimile: (02) 9715 6222 Mobile: 0411 453 012 Email: united_eng@bigpond.com Copyright Mark Anthony Boudib MIEAust, CPEng, NER North Designed MAB Drawn F.B. Checked MAB

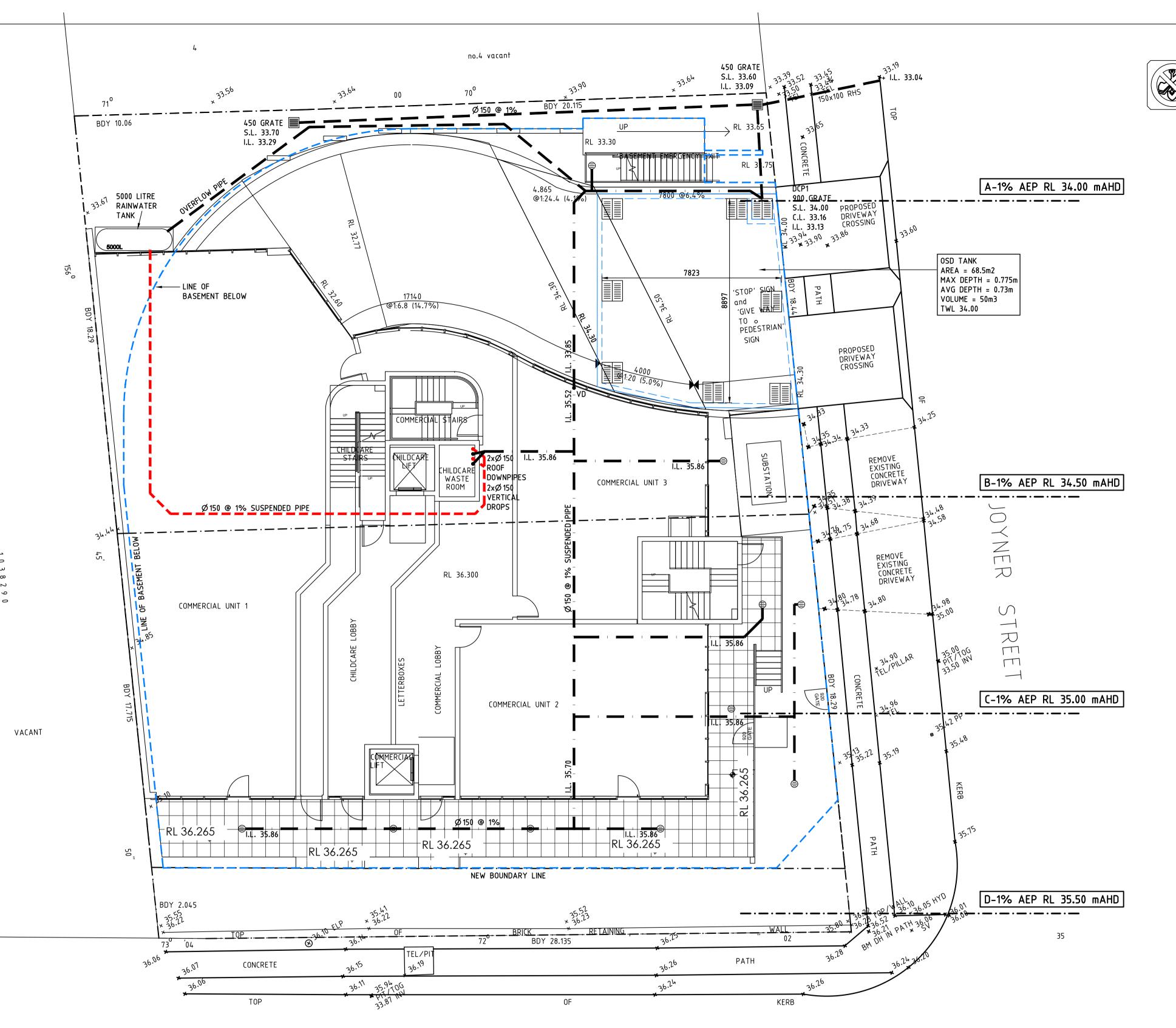
Scale 1:100 U.N.O.

ADVANCED ARCHITECTURE

& CONSTRUCTION PTY/LTD

PROPOSED DEVELOPMENT

2 & 2A JOYNER ST,



GREAT WESTERN HIGHWAY

WATERPROOFING NOTES:

ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010

 WATERPROOF ALL EXTERNAL SLABS. • ALL FALLS TO BE ADDED TO MINIMUM SLAB THICKNESS SHOWN ON PLAN.

PROVIDE VARYING SIZED CHAIRS TO MATCH SLOPE. FLOOR FINISHES TO ARCHITECT DETAILS.

MIN 70MM VERTICAL TERMINATION HEIGHTS AT BALCONIES BETWEEN INSIDE AND OUTSIDE (FINISHED HEIGHTS) FOR: REGION A2, TERRAIN CATEGORY 3, VR:

STEP DOWNS, DAMP COURSES, FLASHING AND WEEP HOLES ARE THE BUILDERS RESPONSIBILITY AND SHALL COMPLY WITH CURRENT BCA REQUIREMENTS.

REFER TO DRAWING NUMBER: 21MB9106/D04 FOR DETAILS

GROUND FLOOR DRAINAGE PLAN

NOTE:

1. NO FLOATABLE MULCH IN DETENTION AREAS

2. ENGINEER TO INSPECT D.C.P.1 AND D.C.P.2 DURING CONSTRUCTION 3. ENGINEER TO INSPECT SWALE DURING CONSTRUCTION

4. ALL WALLS FORMING THE DETENTION BASIN SHALL BE MASONRY CONSTRUCTION AND BE

CONSTRUCTED WHOLLY WITHIN THE PROPERTY BOUNDARY

5. MINIMUM ROOF FALL 1% TO OUTLETS WATERPROOF ALL CONCRETE ROOFS

PROVIDE SAFETY OVERFLOW TO ALL ROOFS

8. ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW

9. ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER

LEVEL & BE PRESSURE TESTED AND CERTIFIED.

10. ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE.

THE MAXIMUM 1% AEP FLOOD LEVELS ACROSS THE SITE VARIES BETWEEN RL 34.00mAHD - RL 35.50mAHD. REFER TO FLOOD ADVICE LETTER BY CUMBERLAND CITY COUNCIL DATED 10 AUGUST 2022, REF: EC2022/0740

* RL --.-- mAHD

2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING

EROSION CONTROL NOTES

DURING CONSTRUCTION.

GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.

THE REQUIREMENTS OF THE CLEAN WATERS ACT.

5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED

SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL

Revisions

4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH

1m 0 1 2 3 4 5m

DIAL BEFORE | NO SUBSURFACE INVESTIGATION HAS

CUMBERLAND CITY COUNCIL

www.1100.com.au RELEVANT AUTHORITIES

YOU DIG | BEEN MADE IT IS YOUR RESPONSIBILITY TO OBTAIN SERVICE DIAGRAMS FROM

1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.

2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.

3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE.

5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT 300 CENTRES.

6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND OUTSIDE (AS1170.2).

8. ALL EXTERNAL SLABS TO BE WATERPROOFED. 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.

10. ALL GRATES TO HAVE CHILD PROOF LOCKS. 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.

12. ALL DP'S TO HAVE LEAF GUARDS 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.

14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.

15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018. 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS

18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

SYMBOLS

NECESSARY.

F.F.L. FINISHED FLOOR LEVEL F.G.L. FINISHED GARAGE LEVEL T.K. TOP OF KERB FINISHED LEVEL EXISTING LEVEL + 11.0 SURFACE LEVEL INVERT LEVEL ROOF CATCHMENT AREA (m2) 20 I IMPERVIOUS CATCHMENT AREA (m2) 20 L LANDSCAPED CATCHMENT AREA (m2) Ø 100 DOWN PIPE OR EQUIVALENT SPREADER VERTICAL DROP VERTICAL RISER RAIN WATER HEAD & DOWN PIPE

> Ø 150 SUMP CONCRETE COVER JUNCTION PIT GRATED INLET PIT 450x450

CLEAN OUT POINT

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE STORMWATER PIPE

SUSPENDED STORMWATER PIPE CHARGED STORMWATER PIPE PUMP LINE Ø 100 SUBSOIL PIPE

SILT FENCE $\langle]$ OVERLAND FLOW

CLIENT ADVANCED ARCHITECTURE & CONSTRUCTION PTY/LTD

PROJECT PROPOSED DEVELOPMENT 2 & 2A JOYNER ST,

WESTMEAD TITLE GROUND FLOOR

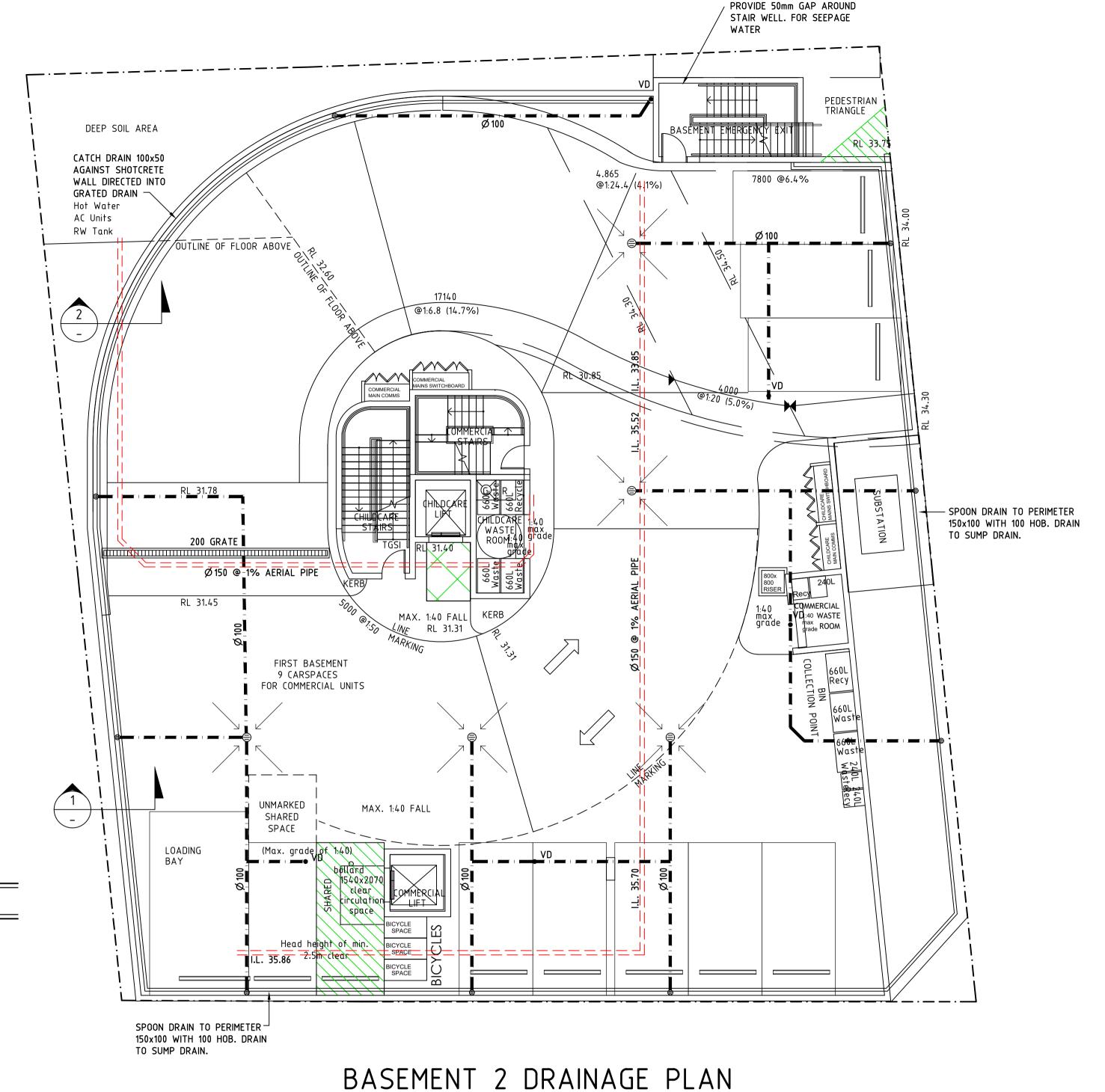
DRAINAGE PLAN



PTY LTD Civil/Structural Engineers Office 1, 147-153 Liverpool Road, Burwood NSW, 2134 Telephone: (02) 9715 5111 Facsimile: (02) 9715 6222

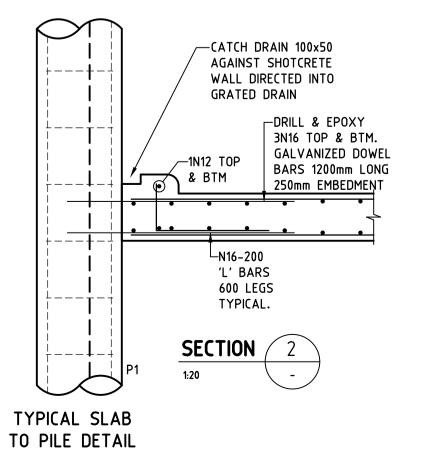
Mobile: 0411 453 012 Email: united_eng@bigpond.com Mark Anthony Boudib MIEAust, CPEng, NER

North Designed MAB Drawn F.B. Checked MAB 1:100 U.N.O. Drawing No 22MB9106/D03 | Sheet | Issue | B



SCALE 1:100

- 1. MINIMUM BASEMENT FALL 1% TOWARDS DRAIN OUTLET. 2. NO PONDING PERMITTED IN DRIVEWAY.
- 3. CONNECT PERIMETER DRAIN TO FREE OUTLET.
- 4. 100 FREE BOARD TO LIFT DOORS



SPOON DRAIN TO PERIMETER

- 150x100 WITH 100 HOB. DRAIN

BASEMENT 1

TO SUMP DRAIN.

Ø 100

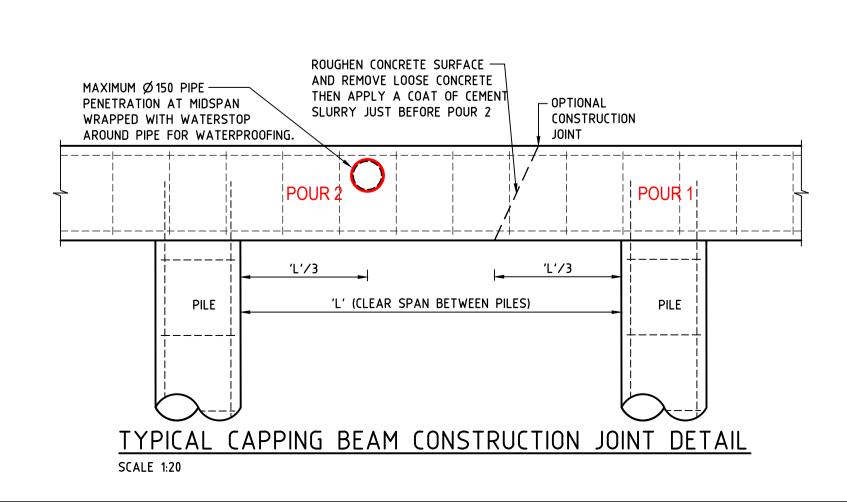
SECTION 1

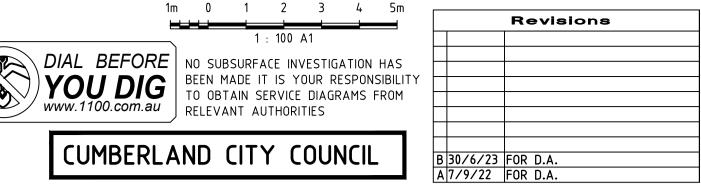
SCALE 1:20

---+-

TYPICAL SLAB

TO PILE DETAIL





EROSION CONTROL NOTES

- 1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- 2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.
- 3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS
- 4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.

5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

- 1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.
- 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
- 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE. 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT 300 CENTRES.
- 6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND
- OUTSIDE (AS1170.2). 8. ALL EXTERNAL SLABS TO BE WATERPROOFED.
- 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.
- 10. ALL GRATES TO HAVE CHILD PROOF LOCKS. 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
- 12. ALL DP'S TO HAVE LEAF GUARDS
- 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION. 14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL
- PRIOR TO CONSTRUCTION. 15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED
- INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- 16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018. 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED.
- PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS NECESSARY. 18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND
- DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

SYMBOLS

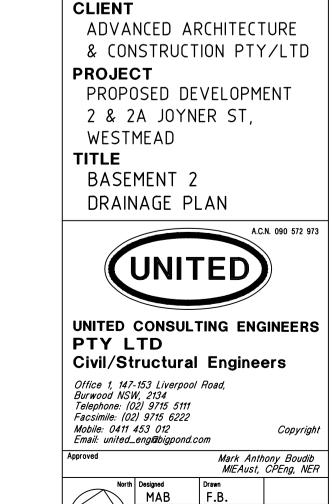
F.F.L. FINISHED FLOOR LEVEL F.G.L. FINISHED GARAGE LEVEL T.K. TOP OF KERB * 11.0 FINISHED LEVEL + 11.0 EXISTING LEVEL SURFACE LEVEL INVERT LEVEL ROOF CATCHMENT AREA (m2) 20 I IMPERVIOUS CATCHMENT AREA (m2) 20 L LANDSCAPED CATCHMENT AREA (m2) Ø 100 DOWN PIPE OR EQUIVALENT SPREADER VERTICAL DROP VR VERTICAL RISER RAIN WATER HEAD & DOWN PIPE CLEAN OUT POINT

> Ø 150 SUMP CONCRETE COVER JUNCTION PIT GRATED INLET PIT 450x450

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE STORMWATER PIPE

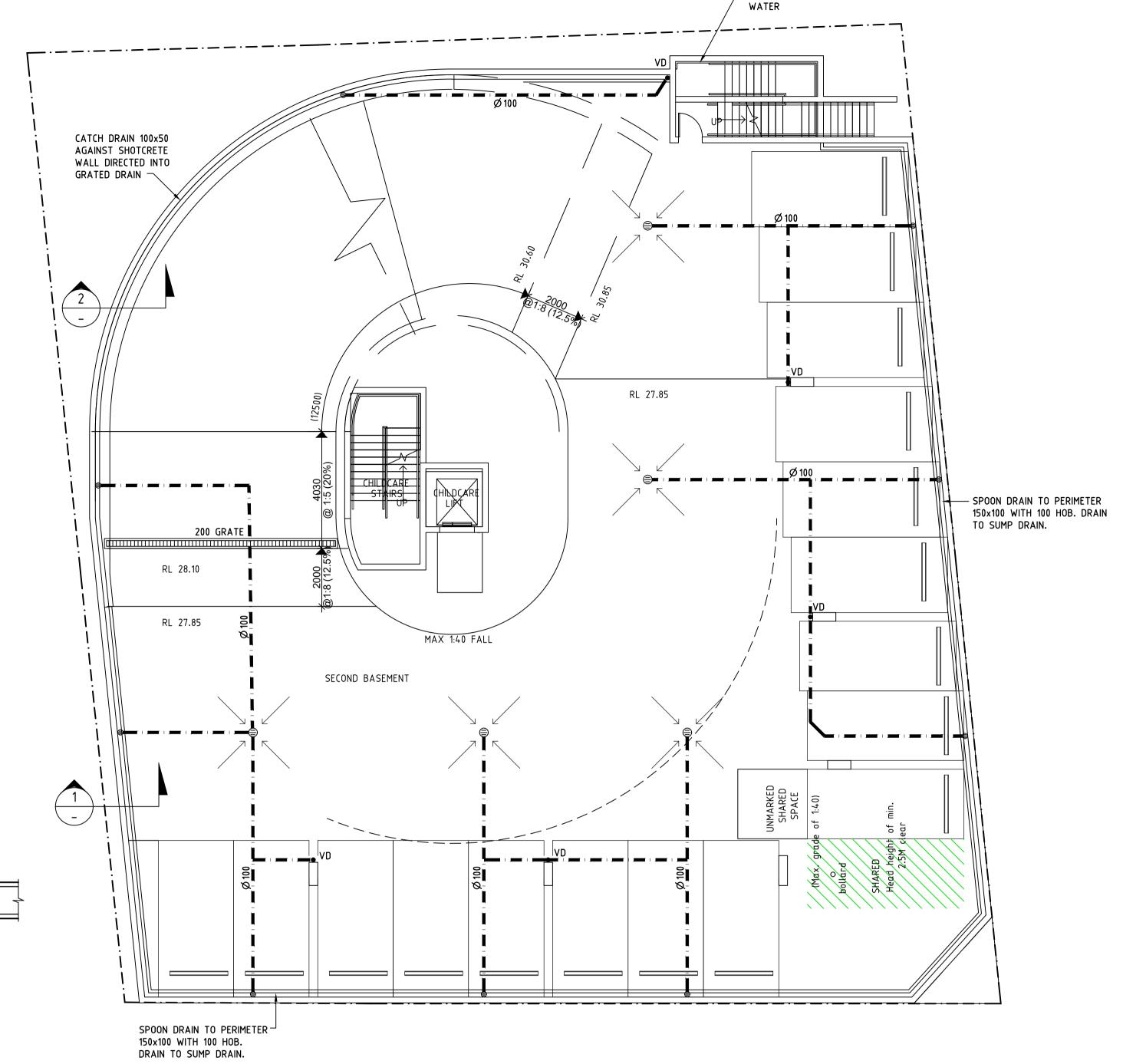
SUSPENDED STORMWATER PIPE CHARGED STORMWATER PIPE PUMP LINE Ø 100 SUBSOIL PIPE

SILT FENCE $\langle]$ OVERLAND FLOW



Checked MAB

Scale 1:100 U.N.O.

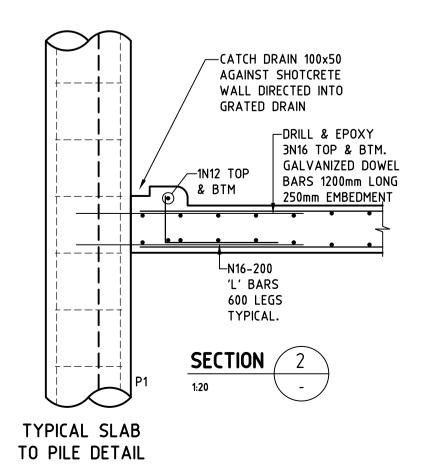


PROVIDE 50mm GAP AROUND STAIR WELL. FOR SEEPAGE

BASEMENT 2 DRAINAGE PLAN

SCALE 1:100

- 1. MINIMUM BASEMENT FALL 1% TOWARDS DRAIN OUTLET. 2. NO PONDING PERMITTED IN DRIVEWAY.
- 3. CONNECT PERIMETER DRAIN TO FREE OUTLET.
- 4. 100 FREE BOARD TO LIFT DOORS



SPOON DRAIN TO PERIMETER

- 150x100 WITH 100 HOB. DRAIN

BASEMENT 1

TO SUMP DRAIN.

Ø 100

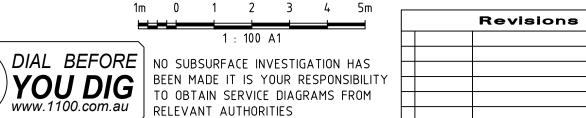
SCALE 1:20

SECTION 1

---+-

TYPICAL SLAB

TO PILE DETAIL



CUMBERLAND CITY COUNCIL

EROSION CONTROL NOTES

- 1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- 2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.
- 3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS
- 4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH
- THE REQUIREMENTS OF THE CLEAN WATERS ACT. 5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

- 1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS
- NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED. 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
- 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE. 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT
- 300 CENTRES. 6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY
- OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS. 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND
- OUTSIDE (AS1170.2).
- 8. ALL EXTERNAL SLABS TO BE WATERPROOFED. 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.
- 10. ALL GRATES TO HAVE CHILD PROOF LOCKS.
- 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
- 12. ALL DP'S TO HAVE LEAF GUARDS 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO
- CONSTRUCTION. 14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL
- PRIOR TO CONSTRUCTION. 15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED
- INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL. 16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018.
- 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS
- 18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

SYMBOLS

NECESSARY.

F.F.L. FINISHED FLOOR LEVEL F.G.L. FINISHED GARAGE LEVEL T.K. TOP OF KERB * 11.0 FINISHED LEVEL + 11.0 EXISTING LEVEL SURFACE LEVEL INVERT LEVEL ROOF CATCHMENT AREA (m2) 20 R 20 I IMPERVIOUS CATCHMENT AREA (m2) 20 L LANDSCAPED CATCHMENT AREA (m2) Ø 100 DOWN PIPE OR EQUIVALENT SPREADER VD VERTICAL DROP VR VERTICAL RISER RAIN WATER HEAD & DOWN PIPE CLEAN OUT POINT Ø 150 SUMP CONCRETE COVER JUNCTION PIT GRATED INLET PIT 450x450 200Wx100D GRATED DRAIN WITH 2% BTM SLOPE

STORMWATER PIPE

SUSPENDED STORMWATER PIPE CHARGED STORMWATER PIPE

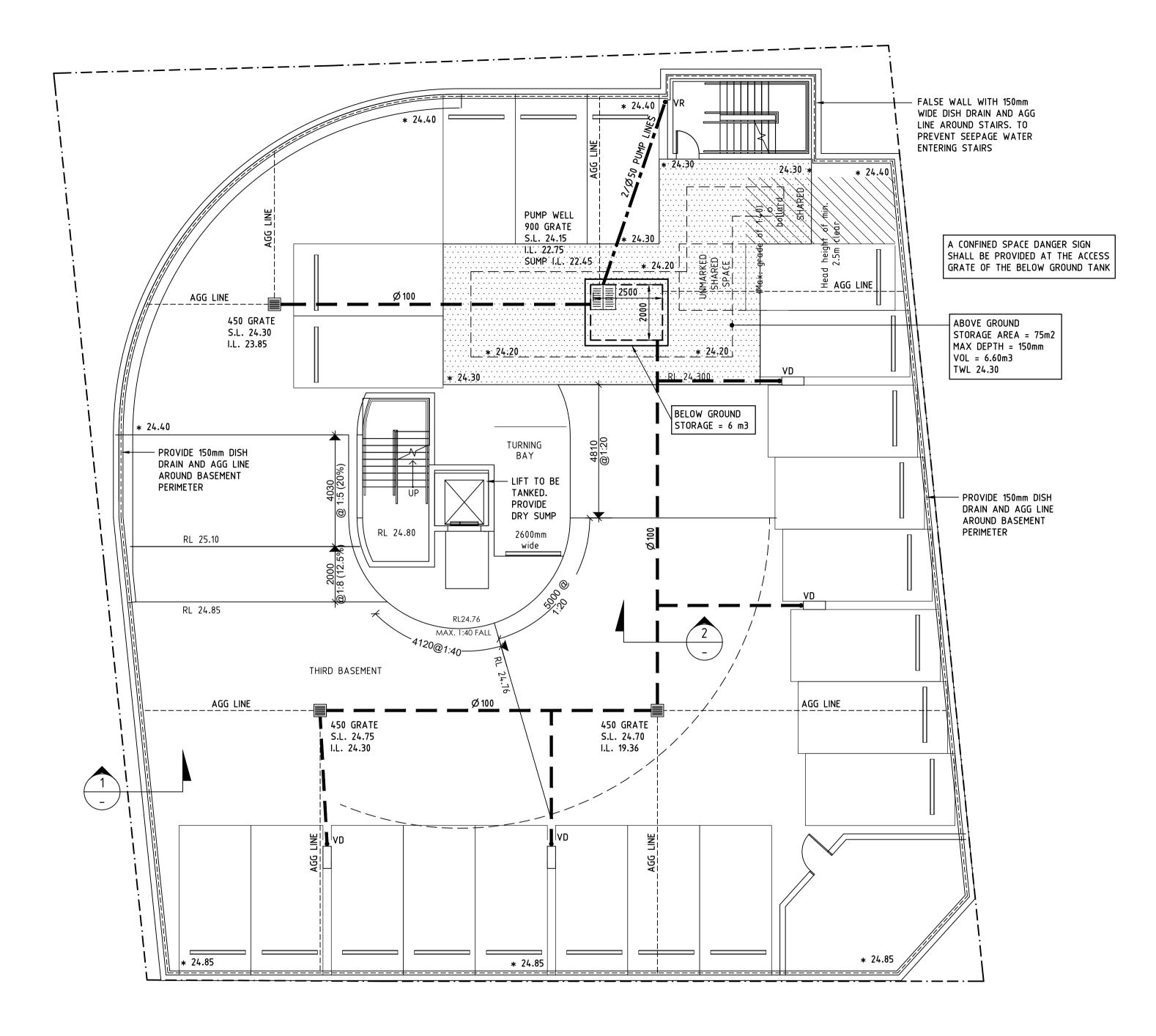
PUMP LINE Ø100 SUBSOIL PIPE SILT FENCE \bigcirc OVERLAND FLOW



PTY LTD Civil/Structural Engineers Office 1, 147-153 Liverpool Road, Burwood NSW, 2134 Telephone: (02) 9715 5111 Facsimile: (02) 9715 6222 Mobile: 0411 453 012 Email: united_eng@bigpond.com

Mark Anthony Boudib MIEAust, CPEng, NER North Designed MAB Drawn F.B. Checked MAB Scale 1:100 U.N.O.

Copyright



BASEMENT 3 DRAINAGE PLAN

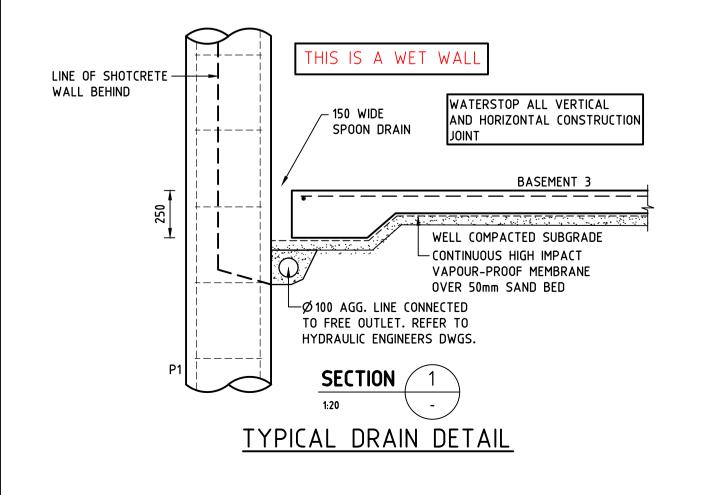
SCALE 1:100

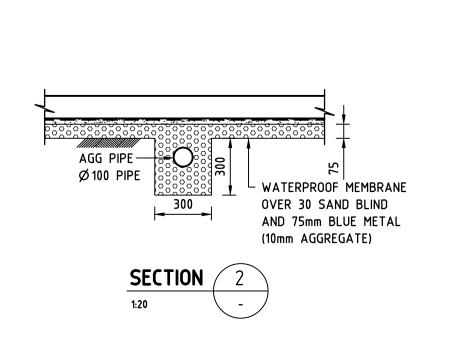
NOTE:

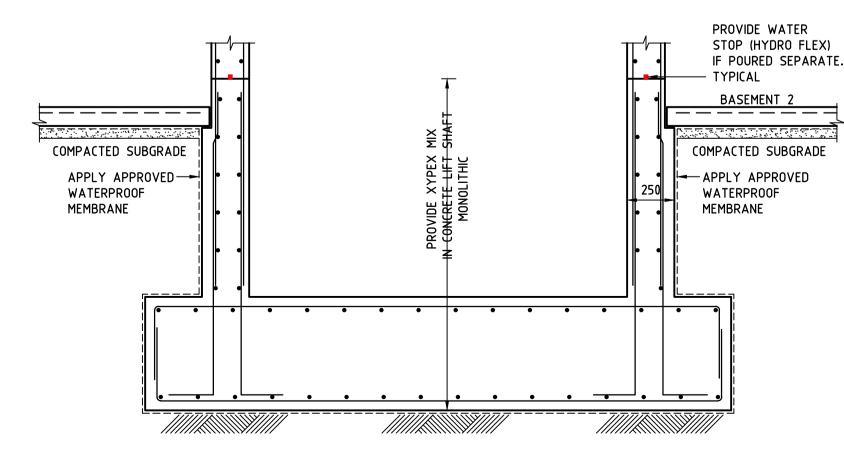
MINIMUM BASEMENT FALL 1% TOWARDS DRAIN OUTLET.
 NO PONDING PERMITTED IN DRIVEWAY.

3. CONNECT PERIMETER DRAIN TO FREE OUTLET.

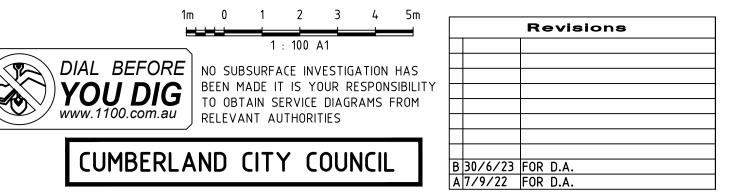
4. 100 FREE BOARD TO LIFT DOORS







TYPICAL LIFT SHAFT SECTION SCALE N.T.S.



EROSION CONTROL NOTES

- 1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.
- 2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.
- 3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY
 TO COLLECT SILT LADDEN WATER. TO COUNCIL'S STANDARDS
- 4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH

THE REQUIREMENTS OF THE CLEAN WATERS ACT. 5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE

NOTES

- 1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS
- NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.

 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
- 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE.5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT
- 300 CENTRES.
- 6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY
- OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND
- 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND OUTSIDE (AS1170.2).
- 8. ALL EXTERNAL SLABS TO BE WATERPROOFED.
- ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.
 ALL GRATES TO HAVE CHILD PROOF LOCKS.
- 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
- 12. ALL DP'S TO HAVE LEAF GUARDS
 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO
- CONSTRUCTION.

 14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL
- PRIOR TO CONSTRUCTION.

 15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED
- INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- 16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018.
 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS
- NECESSARY.

 18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND
- DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

<u>SYMBOLS</u>

F.F.L. FINISHED FLOOR LEVEL F.G.L. FINISHED GARAGE LEVEL T.K. TOP OF KERB * 11.0 FINISHED LEVEL + 11.0 EXISTING LEVEL SURFACE LEVEL INVERT LEVEL ROOF CATCHMENT AREA (m2) 20 R 20 I IMPERVIOUS CATCHMENT AREA (m2) 20 L LANDSCAPED CATCHMENT AREA (m2) Ø 100 DOWN PIPE OR EQUIVALENT SPREADER VERTICAL DROP VR VERTICAL RISER

RAIN WATER HEAD & DOWN PIPE

CLEAN OUT POINT

● SUMP Ø 150 SUMP

CONCRETE COVER JUNCTION PIT

GRATED INLET PIT 450×450

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE
STORMWATER PIPE

SUSPENDED STORMWATER PIPE

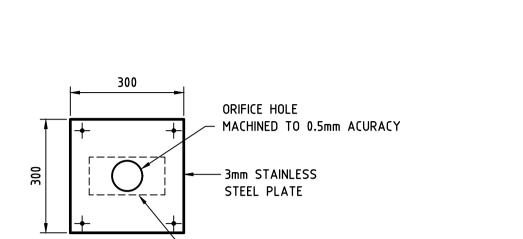
CHARGED STORMWATER PIPE

CHARGED STORMWATER PIPE

PUMP LINE

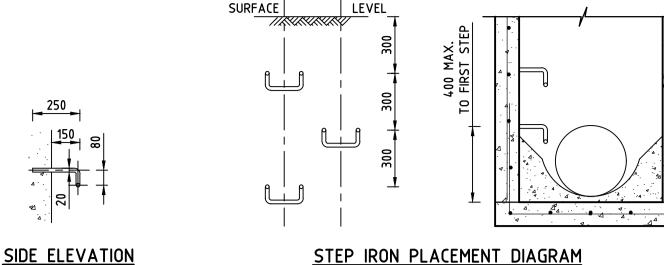
→ · · → Ø 100 SUBSOIL PIPE
SILT FENCE
OVERLAND FLOW





- 200×100 RHS OUTLET





FRONT ELEVATION

STEP IRONS FOR PITS SCALE 1:20

SURFACE

I. PREFABRICATED GALVANISED STEP IRONS TO BE USED WHERE DEPTH OF PIT EXCEEDS 1.0m. 2. STEP IRONS TO BE HOT DIPPED GALVANISED.

REMOVABLE TRIANGULAR SCREEN

- MOUNTING BRACKET

SUPPLY FROM

DISCHARGE OF

PUMP

SUCTION FROM

PLAN

N.T.S.

TANK TO PUMP

HOT DIPPED GALV. LYSAGHT

- MAXIMESH TYPE RH3030 WITH

HANDLE

MULTI PURPOSE FILTER SCREEN

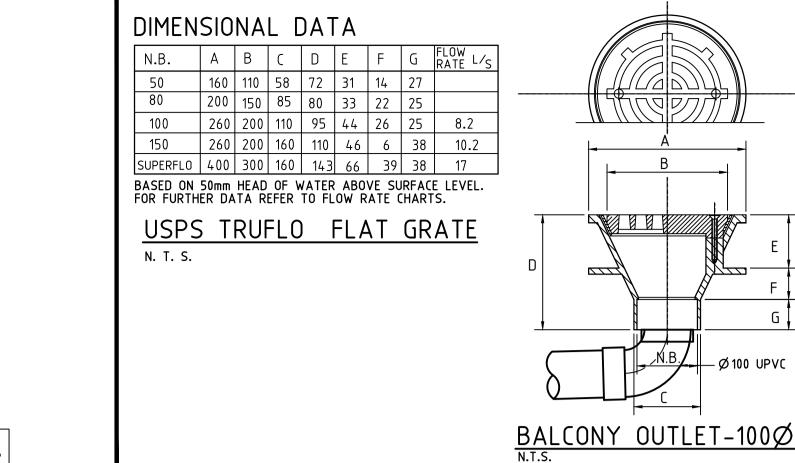
PRODUCT CODE: MMMPS (MASCOT ENGINEERING)

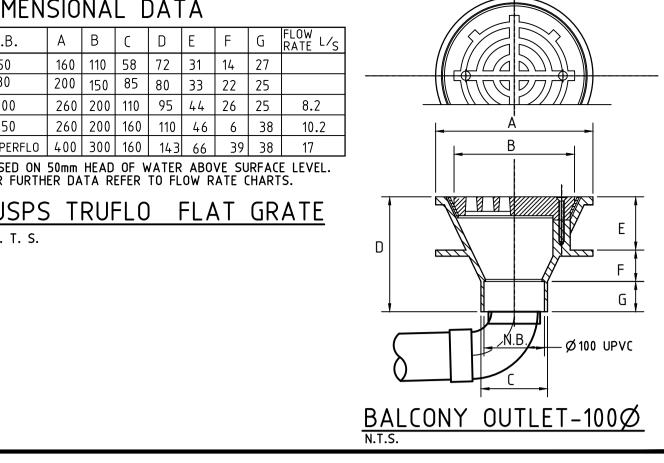
NO RAINWATER TANK REQUIRED

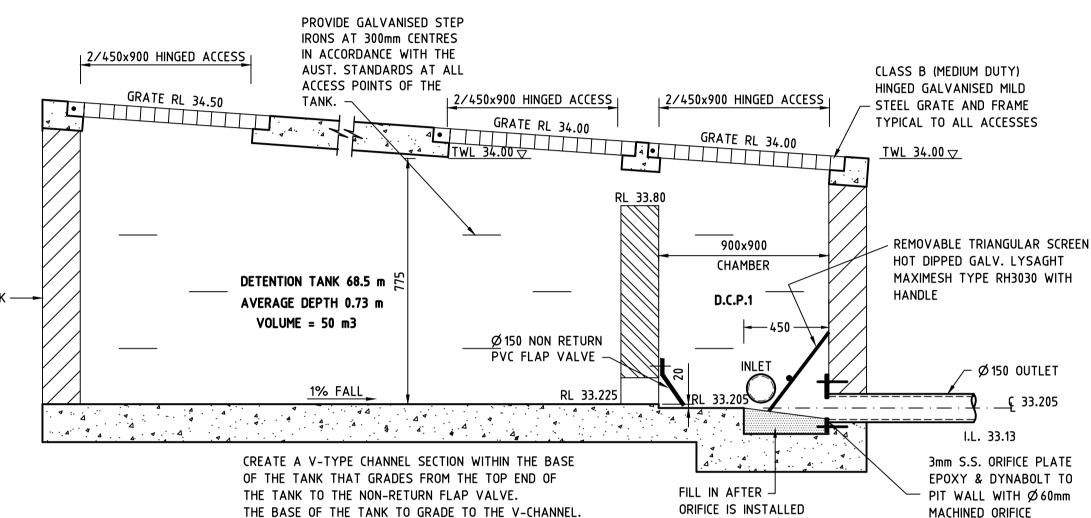
LITRE TANK REQUIRED BY COUNCIL

BY BASIX CERTIFICATE, 5000

SCALE 1:20







LIGHT DUTY. HINGED

PRECAST PIT

OR BRICK PIT

TYPICAL PIT SECTION

CHILD PROOF LOCK WITH SPRUNG J BOLT.

3. GRATES IN PATHWAYS TO BE HEEL GUARD.

1. PITS DEEPER THAN 900mm TO HAVE STEP RUNGS AND A

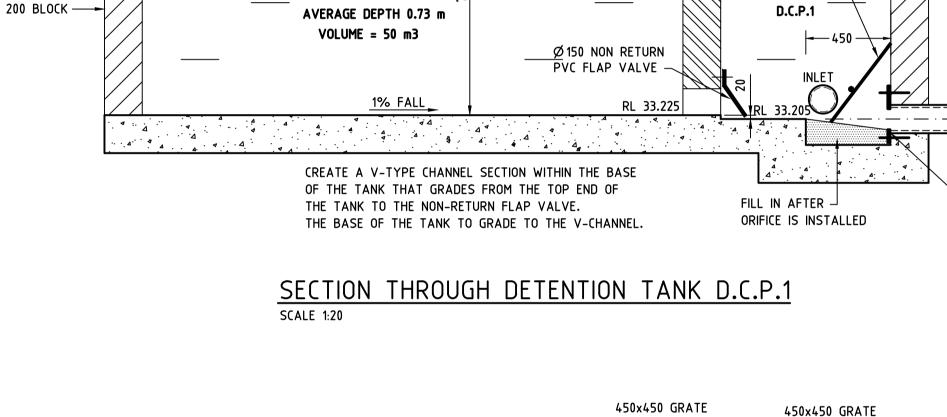
GRATES IN DRIVEWAYS MUST BE HEAVY DUTY CLASS C OR D.

GALVANISED (TYPE A)

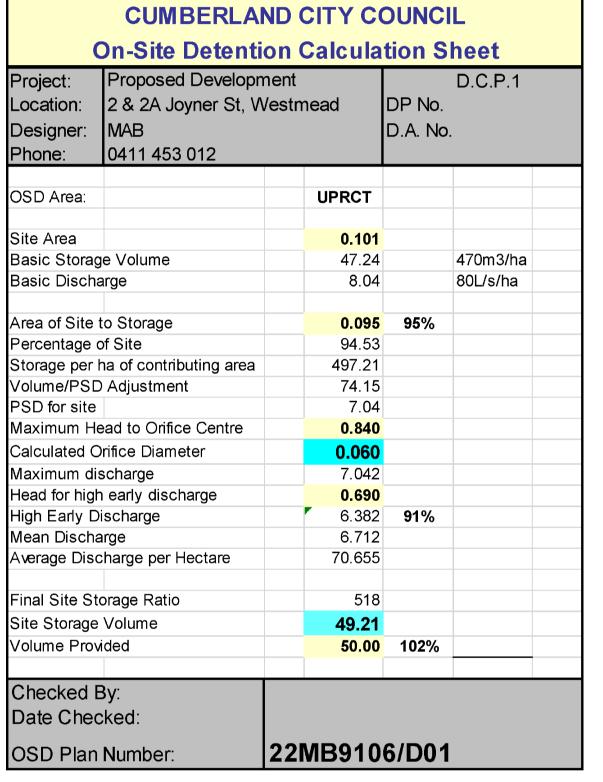
INLET

LIGHT DUTY. HINGED

GALVANISED (TYPE A) —



OUTLET



RAINWATER TANK DETAIL

INSTALLATION OF TANKS TO BE IN ACCORDANCE

WITH MANUFACTURER SPECIFICATION.



WARNING

ON SITE DETENTION AREA

STORMWATER MAY RISE

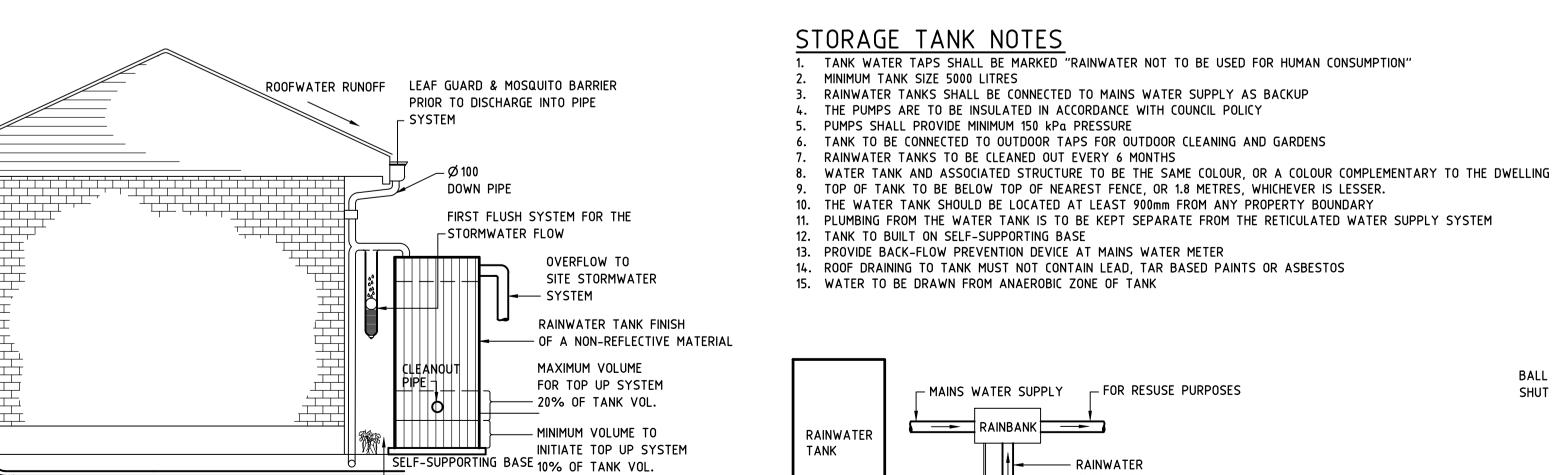
IN THIS AREA

COLOURS:-

- GARDEN/LAWN AREA REQUIRED

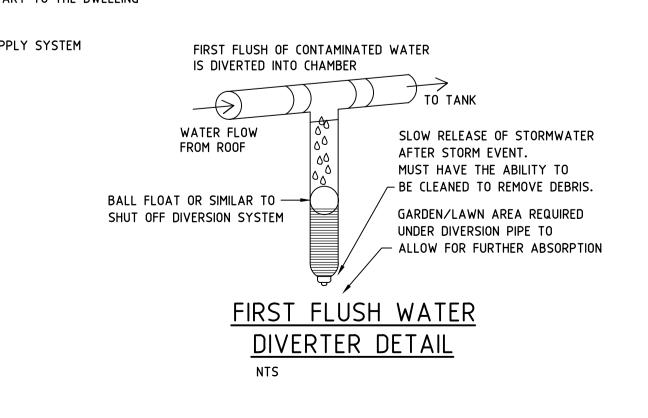
ALLOW FOR FURTHER ABSORPTION

UNDER DIVERSION PIPE TO



LINE FOR LEVEL -

SWITCH



SCALE 1:20



450 MIN

STANDARD PIT

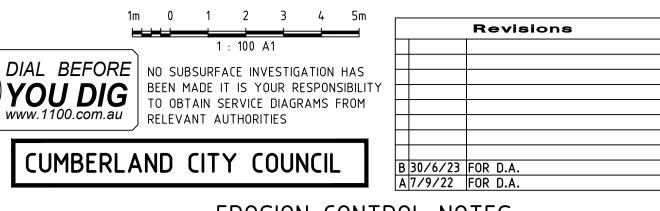
SCALE 1:20

SIGNAGE FOR RAINWATER TANKS AND OUTLETS

INLET PIPE

OUTLET PIPE

-DIMENSIONS: 120mm X 150mm -background colour should be <u>YELLOW;</u>
-text is <u>WHITE</u> on a <u>BLACK</u> background;
-tap symbol is <u>BLACK</u>.



EROSION CONTROL NOTES

1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION.

2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS. PAVEMENTS ETC.

3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS

NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.

5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE NOTES

1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED.

2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.

ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.

ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE. 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT 300 CENTRES.

6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.

7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND OUTSIDE (AS1170.2).

8. ALL EXTERNAL SLABS TO BE WATERPROOFED. 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010.

10. ALL GRATES TO HAVE CHILD PROOF LOCKS.

11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS. 12. ALL DP'S TO HAVE LEAF GUARDS

13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO 14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL

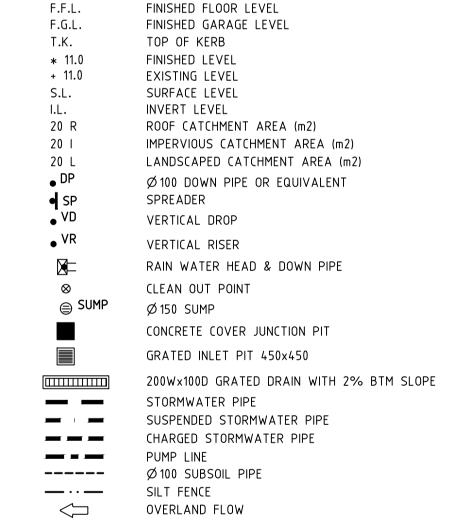
PRIOR TO CONSTRUCTION. 15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED

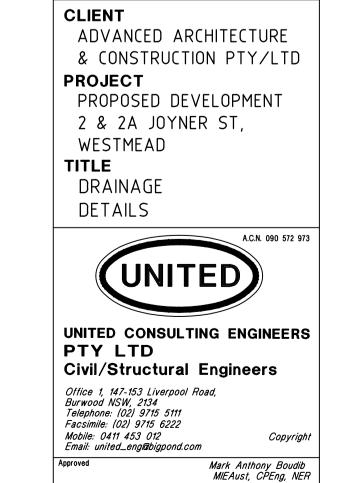
INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

16. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3 2018. 17. EXISTING STORMWATER PIPE LOCATIONS HAVE BEEN ASSUMED. PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS NECESSARY.

18. ALL NEW ROOF AREAS WILL BE PROVIDED WITH GUTTERS AND DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING PROVISIONS AND AS 3500.3 2018.

SYMBOLS





North Designed MAB

Checked MAB

Drawn F.B.

Drawing No Sheet Issue 22MB9106/D06 6 of 9 B

1:100 U.N.O.

OUTSIDE

PIPE FOR RE USE

TAP



YOU DIG | BEEN MADE IT IS YOUR RESPONSIBILITY TO OBTAIN SERVICE DIAGRAMS FROM TO OBTAIN SERVICE DIAGRAMS FROM

DURING CONSTRUCTION.

BUILDINGS, PAVEMENTS ETC.

PRIOR TO CONSTRUCTION.

PROVISIONS AND AS 3500.3 2018.

NECESSARY.

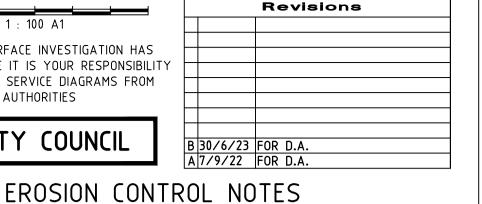
VD

VR

 \oplus SUMP

 $\langle \Box$

CUMBERLAND CITY COUNCIL



1. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED

SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY

2. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR

3. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDEN WATER, TO COUNCIL'S STANDARDS

14. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL

15. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED

PLUMBER TO INSPECT PRIOR TO WORKS AND UPGRADE PIPES AS

DOWNPIPES COMPLYING WITH THE REQUIREMENTS OF THE BCA, HOUSING

INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.

FINISHED FLOOR LEVEL

TOP OF KERB

FINISHED LEVEL

EXISTING LEVEL SURFACE LEVEL

INVERT LEVEL

SPREADER

VERTICAL DROP

VERTICAL RISER

CLEAN OUT POINT

STORMWATER PIPE

Ø 100 SUBSOIL PIPE

OVERLAND FLOW

Ø 150 SUMP

PUMP LINE

SILT FENCE

FINISHED GARAGE LEVEL

ROOF CATCHMENT AREA (m2)

IMPERVIOUS CATCHMENT AREA (m2)

LANDSCAPED CATCHMENT AREA (m2)

Ø 100 DOWN PIPE OR EQUIVALENT

RAIN WATER HEAD & DOWN PIPE

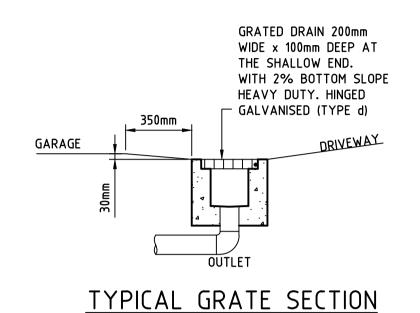
CONCRETE COVER JUNCTION PIT

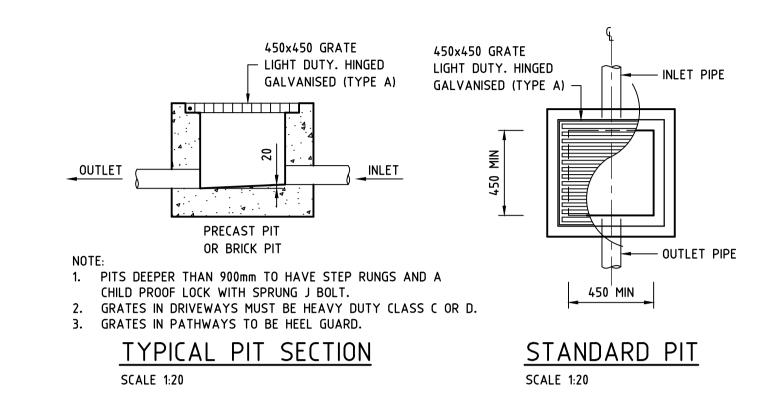
SUSPENDED STORMWATER PIPE

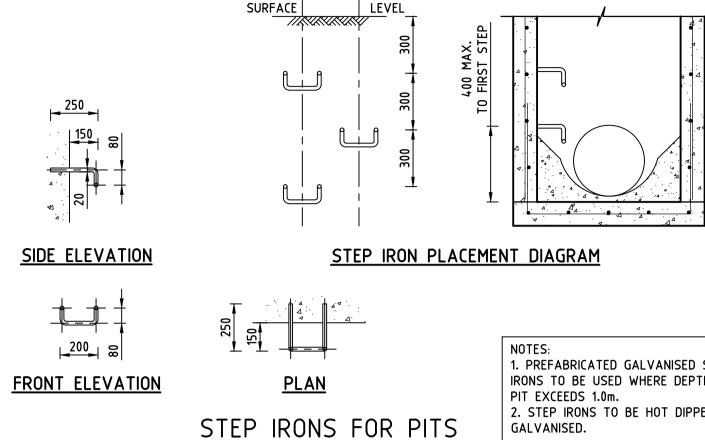
CHARGED STORMWATER PIPE

GRATED INLET PIT 450x450

PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL







SCALE 1:20



CONFINED SPACE WARNING SIGN

A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT EACH ACCESS GRATE OF THE BELOW GROUND DETENTION TANK

COLOURS:-"DANGER" AND BACKGROUND - WHITE ELLIPTICAL AREA - RED RECTANGLE CONTAINING ELLIPSE - BLACK OTHER LETTING AND BORDER - BLACK

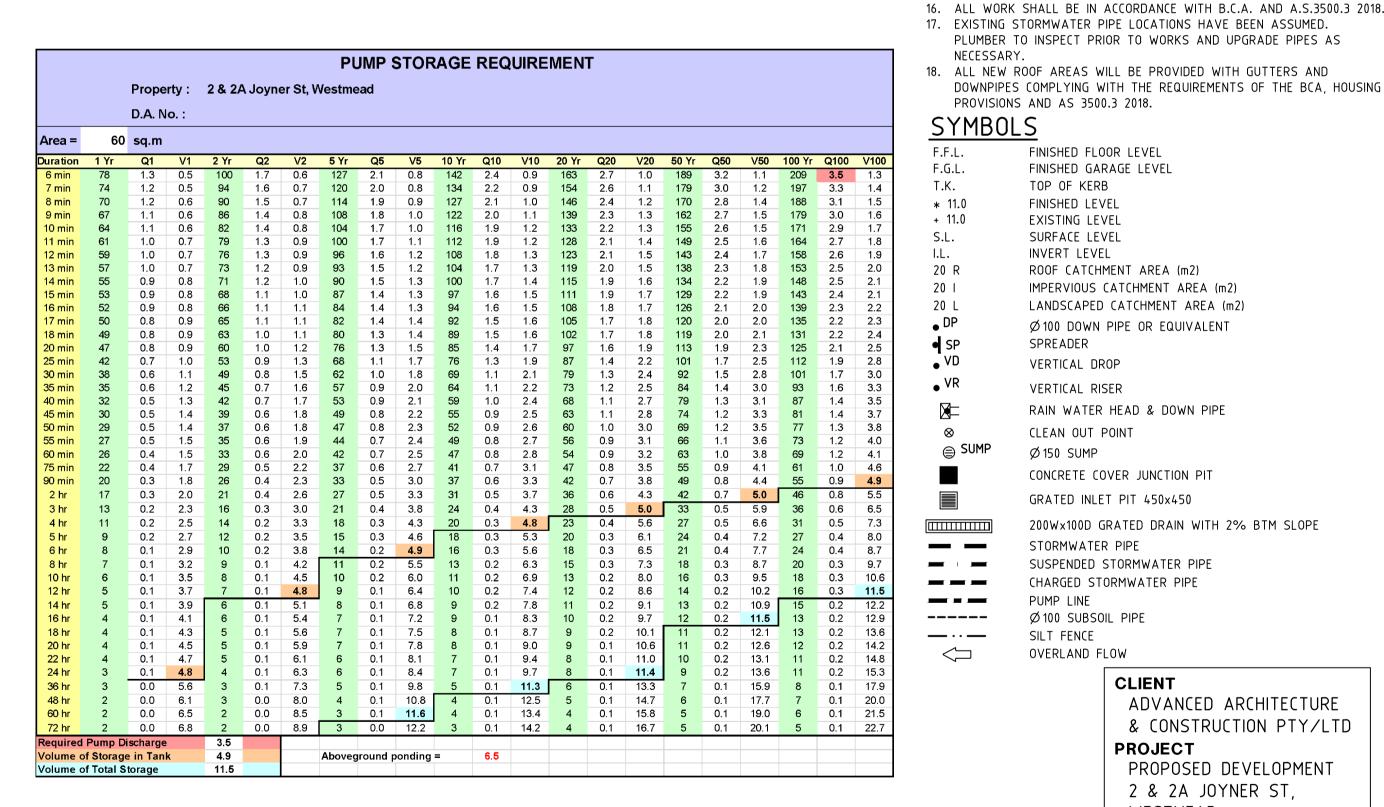
A. A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK/S CONFINED SPACE.

B. MINIMUM DIMENSIONS OF THE SIGN - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS) - 250mm x 180mm (SMALL ENTRIES SUCH AS GATES & MANHOLES)

C. THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE.

D. SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF

THE SIGN AND/OR SUITABLE EPOXY GLUE/CEMENT.



HIGH LEVEL LIGHT -— FLASHING STROBE LIGHT ROTARY CONTROL SWITCHES TERMINAL BLOCK PROVIDE GALVANISED 900x900 ACCESS STEP IRONS AT 300mm HEAVY DUTY. HINGED CENTRES IN ACCORDANCE WITH CHILD PROOF LOCK WITH THE AUST. STANDARDS AT SPRUNG J BOLT ACCESS POINT OF THE TANK. GALVANISED (TYPE A) 2/ Ø50mm BSP PUMP PRESSURE LINE GATE VALVE INSTALL WATERSTOP CHECK VALVE (SWING) KAMLOK QUICK RELEASE COUPLING -PUMP 2 START LEVEL REGULATOR 1 2000x2500 PUMP 1 START LEVEL REGULATOR -REINFORCED HIGH PRESSURE HOSES -SP1 SP2

SECTION THROUGH PUMP WELL

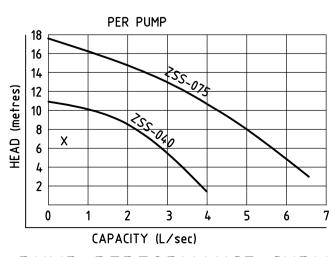
SUMP TO BE 900x900x300

<u>COMPONENTS</u> 1. TWO(2) PUMPS OMEGA SUBMERSIBLE PUMPS (240v)

- 2. ONE(1) PUMPS START CONTROL PANEL (CONTROL DESIGN TO
- 3. TWO(2) GATE VALVES (BRONZE)
- 4. TWO(2) CHECK VALVES (SWING TYPE) (BRONZE)
- 6. ALL IN TANK PIT/PIPE AND PIPE FITTINGS, BRACKETS/SUPPORTS, HD GAL. CHAINS
- 8. INSTALLATION IN PROVIDED TANK/PIT
- <u>OPTIONS</u>

MODEL - ALINE	OUTLET SIZE	MAX FLOW	MAX HEAD			POWER
OMEGA ZSS-040	50mm	3.9 L/sec	11m	0.40 kW	11 kg	240v
OMEGA ZSS-075	50mm	6.6 L/sec	18m	0.75 kW	18 kg	240v

PUMP SPECIFICATIONS



PUMP PERFORMANCE CURVES SCALE 1:20

STANDARD PUMP OUT DESIGN NOTES

THE PUMP SHALL BE PROGRAMMED TO WORK ALTERNATIVELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.

A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS.

A SECOND FLOAT SHALL BE PROVIDED AT A HIGHER LEVEL, APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL, WHEREBY ONE OF THE PUMPS WILL OPERATE AND DRAIN THE TANK TO THE LEVEL OF THE LOW LEVEL FLOAT.

A THIRD FLOAT SHALL BE PROVIDED AT A HIGH LEVEL WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHOULD START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.

AN ALARM SYSTEM SHALL BE PROVIDED WITH A FLASHING STROBE LIGHT AN A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.

4. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT. 5. ALL TOPSOIL TO BE CONSERVED FOR RE-USE ON SITE 1. ALL LINES ARE TO BE Ø 100 U.P.V.C @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWER GRADE & SEALED. 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY 4. ALL PITS TO BE MINIMUM 450x450 BRICK, PRECAST OR CONCRETE. 5. PITS DEEPER THAN 900 MUST BE 900x900 AND HAVE STEP RUNGS AT 1. PREFABRICATED GALVANISED STEP 300 CENTRES. IRONS TO BE USED WHERE DEPTH OF 6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS. 2. STEP IRONS TO BE HOT DIPPED 7. PROVIDE 70mm VERTICAL TERMINATION HEIGHT BETWEEN INSIDE AND OUTSIDE (AS1170.2). 8. ALL EXTERNAL SLABS TO BE WATERPROOFED. 9. ALL WATERPROOFING TO COMPLY WITH AS4654.2 & AS3740-2010. 10. ALL GRATES TO HAVE CHILD PROOF LOCKS. 11. ALL DRAINAGE WORKS TO AVOID TREE ROOTS. 12. ALL DP'S TO HAVE LEAF GUARDS 13. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.



& CONSTRUCTION PTY/LTD **PROJECT** PROPOSED DEVELOPMENT

200Wx100D GRATED DRAIN WITH 2% BTM SLOPE

2 & 2A JOYNER ST, WESTMEAD

TITLE DRAINAGE DETAILS

CLIENT



ADVANCED ARCHITECTURE

Civil/Structural Engineers Office 1, 147-153 Liverpool Road, Burwood NSW, 2134 Telephone: (02) 9715 5111 Facsimile: (02) 9715 6222 Mobile: 0411 453 012 Email: united_eng@bigpond.com

Mark Anthony Boudib MIEAust, CPEng, NER North Designed MAB Checked MAB 1:100 U.N.O. 22MB9106/D07 Sheet 1ssue 7 of 9 B

Copyright

DUAL SUBMERSIBLE PUMPS

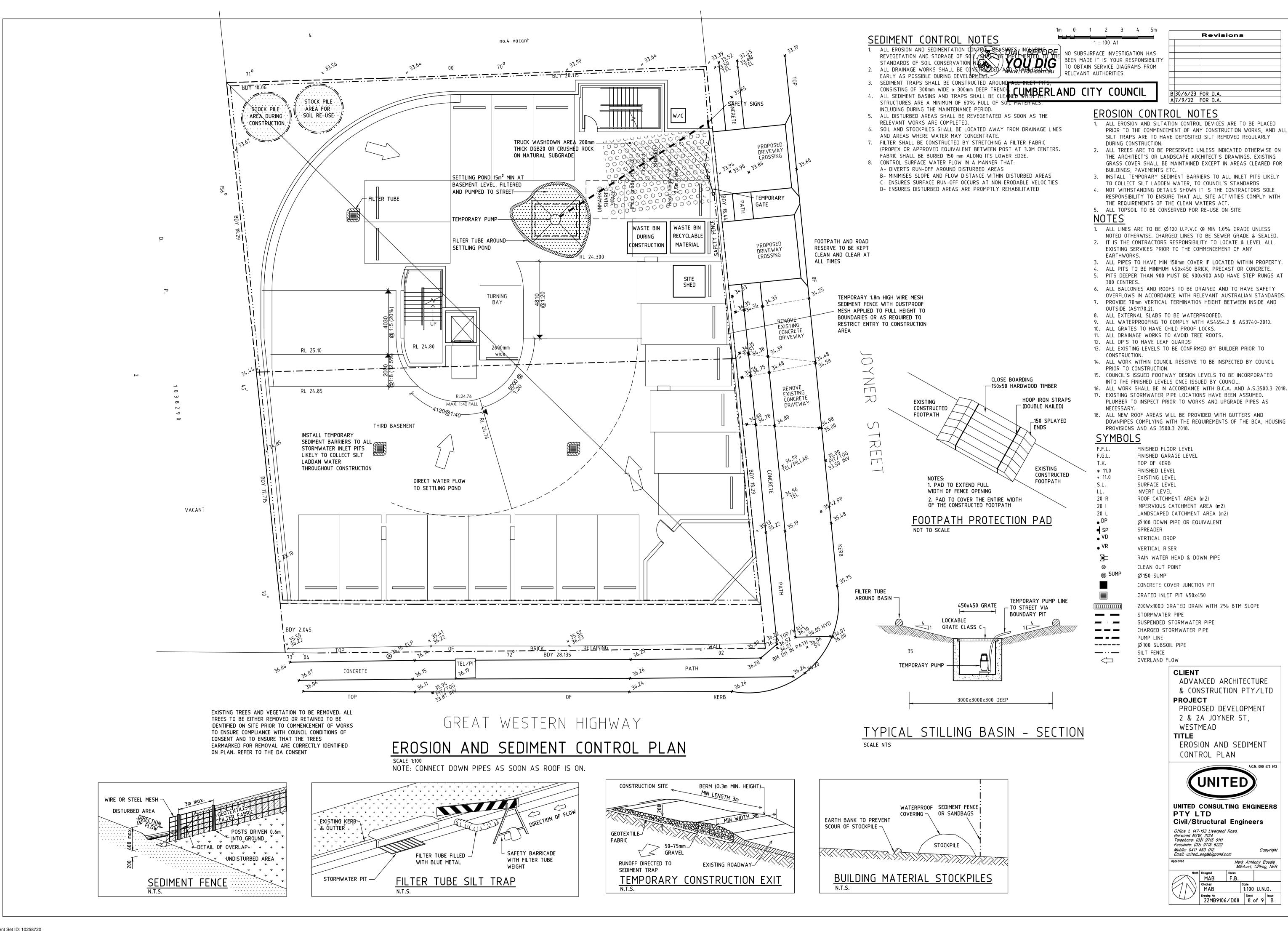
OPERATING ALTERNATIVELY

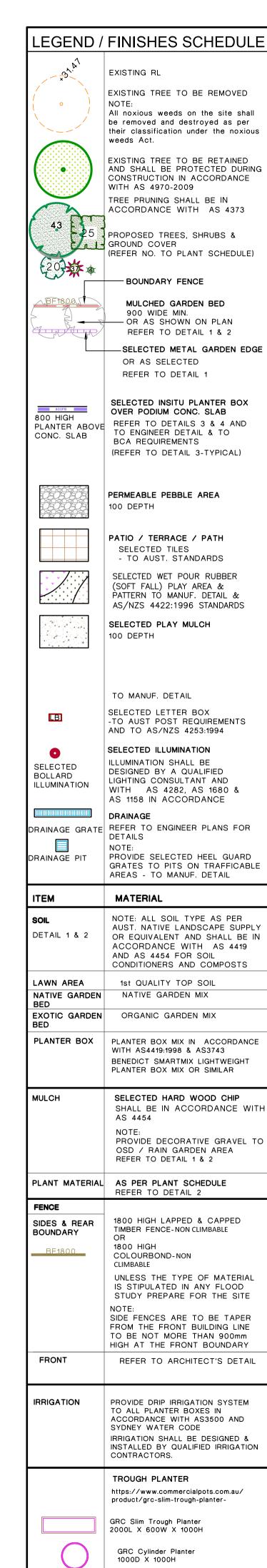
AND PUMPING AT 1.70 L/s

PUMPS TO BE INSTALLED AND

SPECIFIED TO MANUFACTURERS

DETAIL AND CALCULATION SHEET

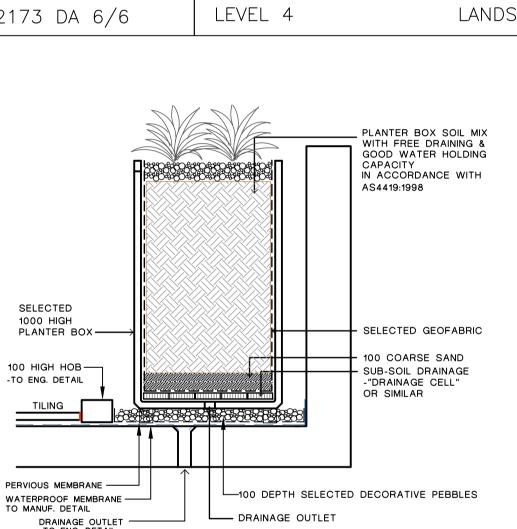




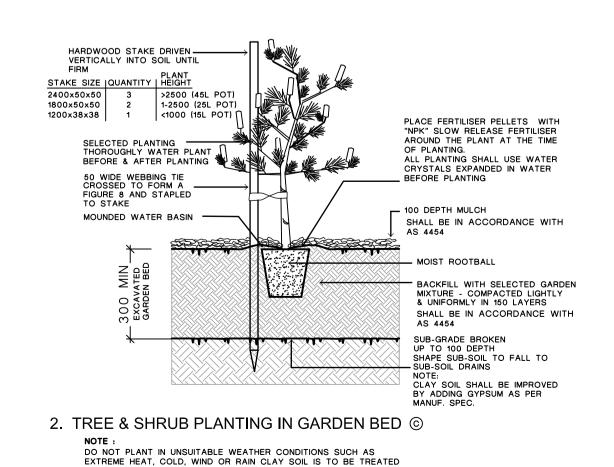
PROPOSED COMMERCIAL & CHILDCARE CENTRE (Development Application)

DRAWING SCHEDULE

DRAWING NO:	DRAWING TITLE
22173 DA 1/6	LEGEND/ DETAILS / PLANT SCHEDULE
22173 DA 2/6	GROUND LEVEL LANDSCAPE PLAN
22173 DA 3/6	LEVEL 1 LANDSCAPE PLAN
22173 DA 4/6	LEVEL 2 LANDSCAPE PLAN
22173 DA 5/6	LEVEL 3 LANDSCAPE PLAN
22173 DA 6/6	LEVEL 4 LANDSCAPE PLAN



3. TYPICAL PLANTER TROUGH DETAIL (TO COMPLY WITH BCA REQUIREMENTS) INSTALLATION OF SUB-SOIL DRAINAGE SHALL BE AS PER MANUFACTURER'S DETAILS &



ALL SOIL TYPE AS PER AUST. NATIVE LANDSCAPE SUPPLY OR

EQUIVALENT AND SHALL BE IN ACCORDANCE WITH AS 4419

PLANTER SOIL 100 DEPTH MU SELECTED CA	JLCH	DESIGNED FOR APPROPRIATE RAINFALL INTENSITY -TO ENG. DETAIL & AS 4654.2-2012
	800 OR AS SHOWN ON PLAN	SELECTED GEOFABIC LINING TO BASE AND SIDES -TO MANUF. DETAIL PLANTER BOX UPTURN TO ENG. DETAIL 150 DEPTH FILTER SAND SELECTED CONTINUOUS WATERPROMEMBRANE AND PROTECTION BOAF TO BASE AND SIDES -TO MANUF. DETAIL SELECTED GEOFABIC LINING TURNED UP AND SECURED TO RISER ABOVE DRAINAGE OPENING PIPE SLOTTED FOR VERTICAL DRAIAGE OPENINGS TO ENG. DETAIL & AS 4654.2-2012
	DRAINAGE OUTLET O HYD. ENG. DETAIL ————————————————————————————————————	DRAINAGE CELLS SUB-SOIL DRAINAGE - INSTALLED TO MANUF. SPEC.
3. TYPICAL TERRACE PLANTER BOX DE		CEMENT SCREED TO DRAINAGE OUTLETS TO ENG. DETAIL

SCREW CAP FOR

AS 4654.2-2012

SAFETY OVERFLOW

PROPOSED PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	APPROX MATURED HEIGHT		QUANTIT
GR	OUND COVER / BOARDER	₹			
1	Selected vege	Selected vege	0.2	150mm	120
2	Lomandra 'TANIKA'	Dwarf Lomandra	0.75	150mm	17
3	Viola hederacea	Native Violet	hanging	150mm	37
4	Liriope muscari 'Just Right'	Just Right Liriope	0.5	150mm	8
5	Dianella tasmanica 'Destiny'	Destiny Flax Lily	0.4	0.4 150mm	
7	Phormium Chocomint Mist	Chocomint Mist	0.5	12	
8	Dichondra Silver Falls	Silver Falls	0.1	150mm	49
LC	W SHRUBS				
11	Westringia Ozbreed Aussie Box	Aussie Box Westringia	0.5	200mm	16
13	Phillodendron Xanadu	Xanadu	0.7	200mm	76
14	Crassula 'blue bird'	Crassula	1	200mm	84
15	Callistemon Great Balls of Fire	Great Balls of Fire	2	200mm	7
ΤA	LL SHRUBS				
24	Callistemon SLIM	Slim callistemon	3	200mm	7
26	Ficus lyrata	Fiddle Leaf Fig	2	25L	6
28	Pittosporum tenuifolium 'Silver Shee	n' Pittosporum Silver Sh	een 3	200mm	14
30	Syzygium 'Cascade'	Cascade Lilly Pilly	2.5	200mm	14
FE	ATURE SHRUBS				
31	Cordyline stricta	Slander palm lilv	3	200mm	3
32	Draceana marginata	Draceana	1.2	200mm	
33	Yucca rostrata 'Sapphire Skies'	Blue yucca	2	25 L	28
34	Phormium tenax purpurea	Dianella	1.2	200mm	3
35	Cordyline 'Red Sensation'	Red Sensation	1.2	25 L	4
37	Strelitzia juncea	Bird of Paradise	1.2	25 L	8
39	Thysanolaena maxima	Tiger grass	1.5	200mm	3
	EES				
42	Glochidion ferdinandi	Cheese Tree	7	25 L	1
43	Elaeocarpus reticulatus	Blueberry Ash	8 45 L		2
46	Lagerstroemia indica 'Indian Sum	mer' Crepe Myrtle	5	45 L	1
	Magnolia Teddy Bear	Magnolia	5	45 L	3

- THE TREES SHALL COMPLY WITH NATSPEC SPECIFYING TREES: A GUIDE TO ASSESSMENT OF TREE QUALITY (2003) OR AUSTRALIAN STANDARD AS 2303
- 2015 TREE STOCK FOR LANDSCAPE USE.
- HEIGHT AND SPAN ARE INDICATIVE ONLY.SUBJECT TO ON SITE ENVIRONMENTAL FACTORS. USE ONLY AS A GUIDE.

REV	DESCRIPTION	REVISION DATE
В	AMEND AS TO ARCH. CHG.	1.6. 23
Α	DA ISSUE	13.12 .22
	NOTE:	

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.

manufacturing.

- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before
- Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as
- per arborist report & council requirements
- All pruning shall be in accordance with the AS 437
- Thoroughly eradicate weeds from all garden areas.
- No variation to the works to be carried out without prior approval from owner.
- . All materials to be the best of their respective kinds and shall comply with approved sample type
- Substitution of plant species or varieties will not be permitted.

submitted or specified.

to Hydraulic Engineers detail.

- Unless otherwise specified or directed, all instructions are to be issued by the consulting
- 3. All storm water outlets & surface run off shall be
- . Provide sub-soil drainage to garden beds & lawn
- areas where required To be confirmed on site.
- . Refer to survey plan for position of all existing
- . Refer to Architectural elevations & Sections for
- existing and proposed ground lines.
- All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- . Irrigation system If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE

All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD

ARCHITECT:

Institute





LANDSCAPE CONCEPT

DRAWN FF | SCALE | 1: 100@A1 OR 1:200@A3 | REV. DRAWING NUMBER 22 173 DA 1-6

Fona Fong Associate Member

Version: 1, Version Date: 11/08/2023



REV DESCRIPTION AMEND AS TO ARCH. CHG. 13.12 .22 A DA ISSUE

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the inconsistency
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- . Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as
- per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373 8. Thoroughly eradicate weeds from all garden areas.
- No variation to the works to be carried out without
- prior approval from owner. 10. All materials to be the best of their respective

submitted or specified.

to Hydraulic Engineers detail.

. Substitution of plant species or varieties will not be permitted.

kinds and shall comply with approved sample type

- 12. Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
- 13. All storm water outlets & surface run off shall be
- 14. Provide sub-soil drainage to garden beds & lawn
- areas where required To be confirmed on site.
- 15. Refer to survey plan for position of all existing services.
- 16. Refer to Architectural elevations & Sections for
- existing and proposed ground lines.
- 17. All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

8. Irrigation system - If required, shall be designed &

MAINTENANCE

- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5 SCALE

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD



vision dynamics

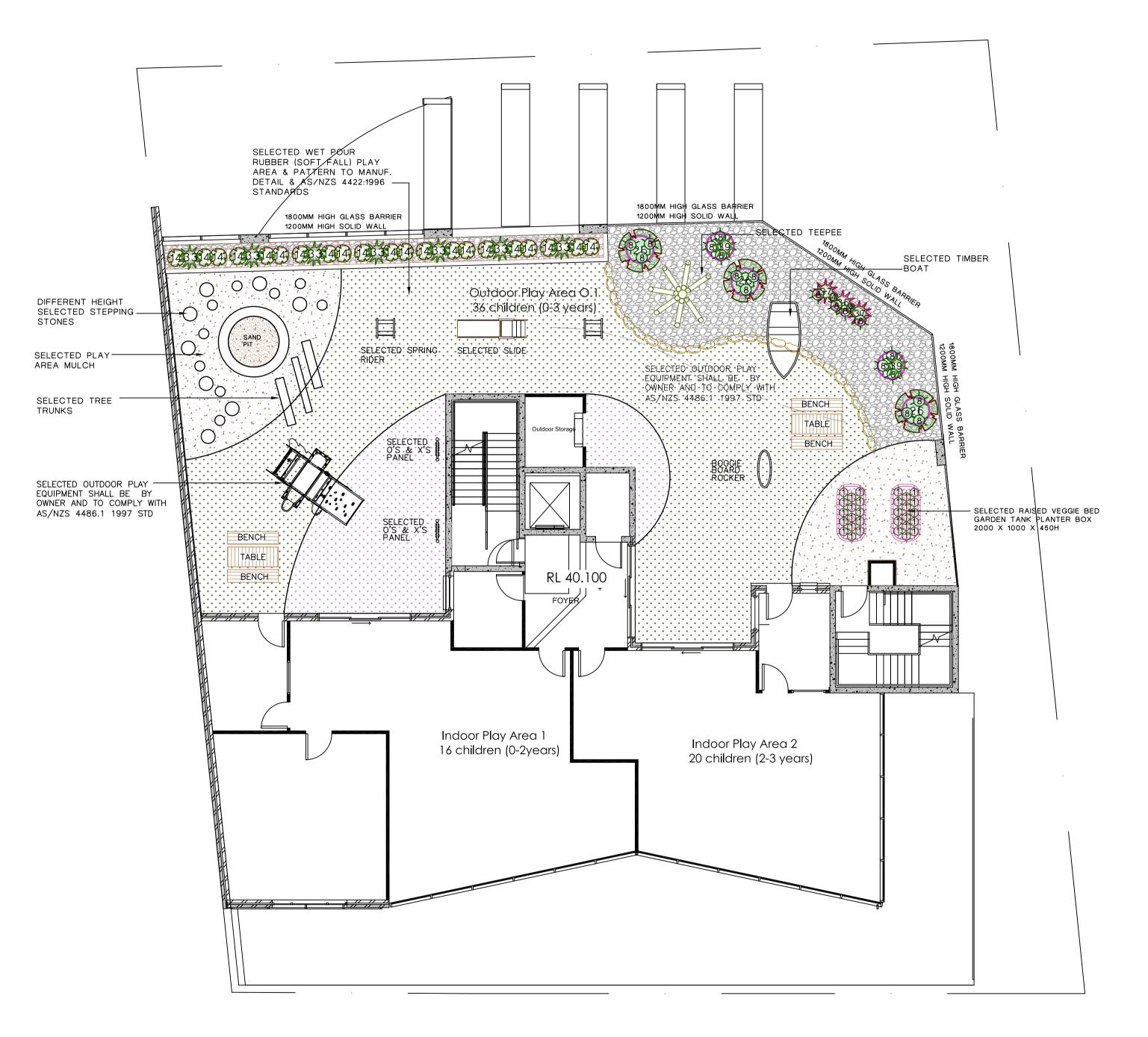
| landscape design

em : visiondynamics @ westnet.com.a

LANDSCAPE CONCEPT PLAN

DRAWN FF | SCALE | 1: 100@A1 OR 1:200@A3 | REV. DRAWING NUMBER

22173 DA 2-6



LEVEL 1

REV	DESCRIPTION	REVISION DATE
В	AMEND AS TO ARCH. CHG.	1.6. 23
Α	DA ISSUE	13.12 .22

NOTE:

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the inconsistency
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- 4. Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with Architectural, Hydraulic and survey plans
- 6. All Existing trees to remain shall be protected as
- per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373
- 8. Thoroughly eradicate weeds from all garden areas.
- No variation to the works to be carried out without prior approval from owner.
- 10. All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
- Substitution of plant species or varieties will not be permitted.
- Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
- All storm water outlets & surface run off shall be to Hydraulic Engineers detail.
- Provide sub-soil drainage to garden beds & lawn areas where required - To be confirmed on site.
- Refer to survey plan for position of all existing services.
- Refer to Architectural elevations & Sections for existing and proposed ground lines.
- 17. All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- Irrigation system If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE

- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD

ARCHITE





m: 0412 282 888
Ph: (02) 9499 8888
em: visiondynamics @ westnet.com.au

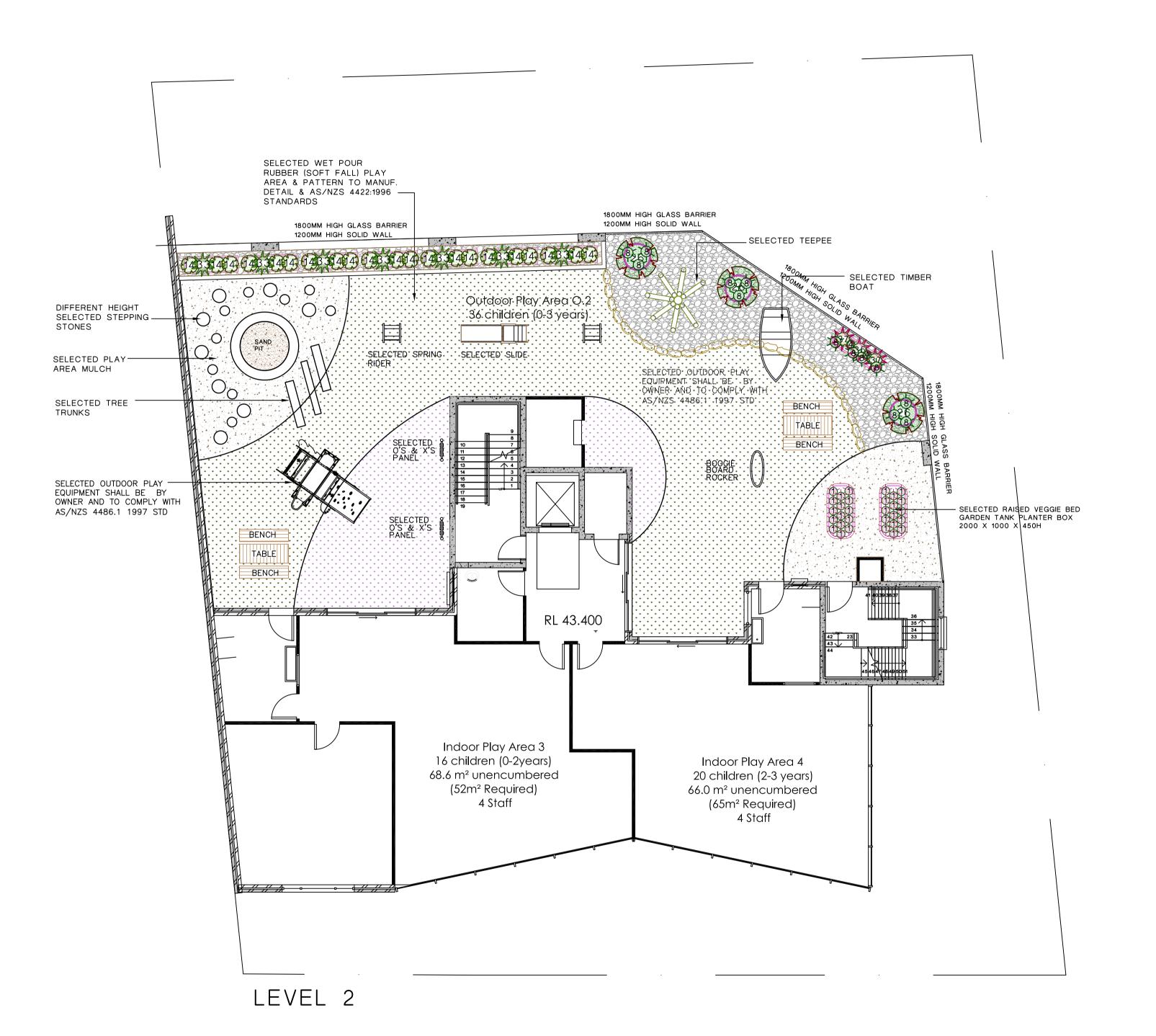
DRAWING TITLE

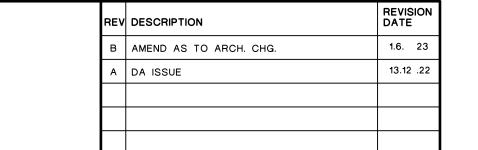
LANDSCAPE CONCEPT

DRAWING NUMBER

22 173 DA 3-6

Landscape Design Institute





NOT

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the inconsistency
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- 4. Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with
- Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373
- 8. Thoroughly eradicate weeds from all garden areas.9. No variation to the works to be carried out without
- prior approval from owner.
- All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
- Substitution of plant species or varieties will not be permitted.
- Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.
- 13. All storm water outlets & surface run off shall be to Hydraulic Engineers detail.14. Provide sub-soil drainage to garden beds & lawn
- areas where required To be confirmed on site.
- Refer to survey plan for position of all existing services.
- Refer to Architectural elevations & Sections for existing and proposed ground lines.
- All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- Irrigation system If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE

- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD

ARCHITE





m: 0412 282 888 Ph: (02) 9499 8888 em: visiondynamics @ westnet.com.au

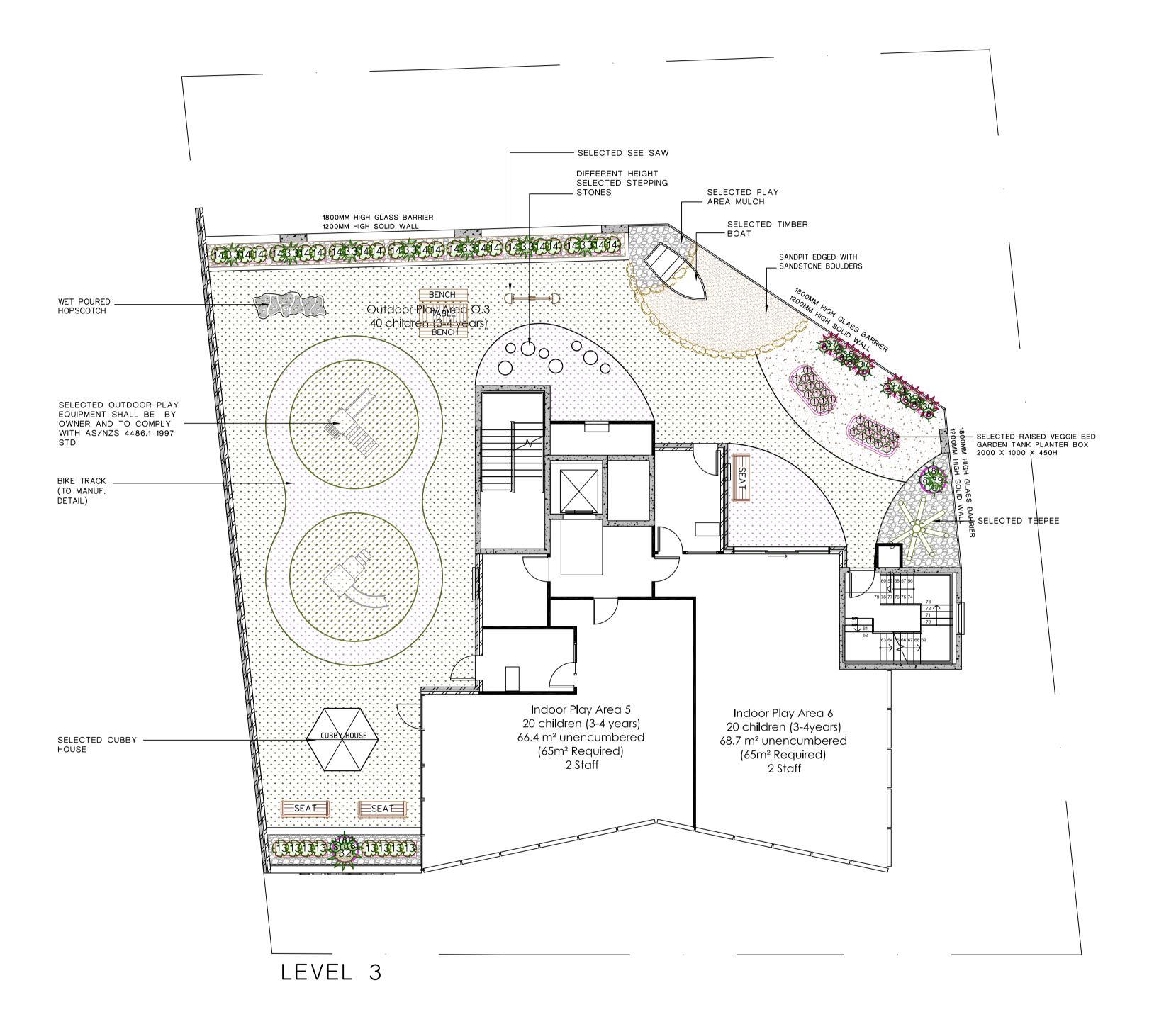
LANDSCAPE CONCEPT

PLAN

DRAWN FF | SCALE | 1: 100@A1 OR 1:200@A3 | REV.

DRAWING NUMBER
22 173 DA 4-6

Landscape Design nstitute



REV DESCRIPTION

B AMEND AS TO ARCH. CHG.

1.6. 23

A DA ISSUE

13.12 .22

NOT

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the inconsistency
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- 4. Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with Architectural, Hydraulic and survey plans
- . All Existing trees to remain shall be protected as
- per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373
- 8. Thoroughly eradicate weeds from all garden areas.9. No variation to the works to be carried out without
- prior approval from owner.

 10. All materials to be the best of their respective
- kinds and shall comply with approved sample type submitted or specified.
- Substitution of plant species or varieties will not be permitted.
- 12. Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer.13. All storm water outlets & surface run off shall be
- to Hydraulic Engineers detail.

 14. Provide sub-soil drainage to garden beds & lawn
- areas where required To be confirmed on site.

 15. Refer to survey plan for position of all existing
- services.

 16. Refer to Architectural elevations & Sections for
- existing and proposed ground lines.

 All landscape works shall comply with all counci
- 17. All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- Irrigation system If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE

- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5 SCALE

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD

ARCHITE





m: 0412 282 888
Ph: (02) 9499 8888
em: visiondynamics @ westnet.com.au

DRAWING TITLE

LANDSCAPE CONCEPT

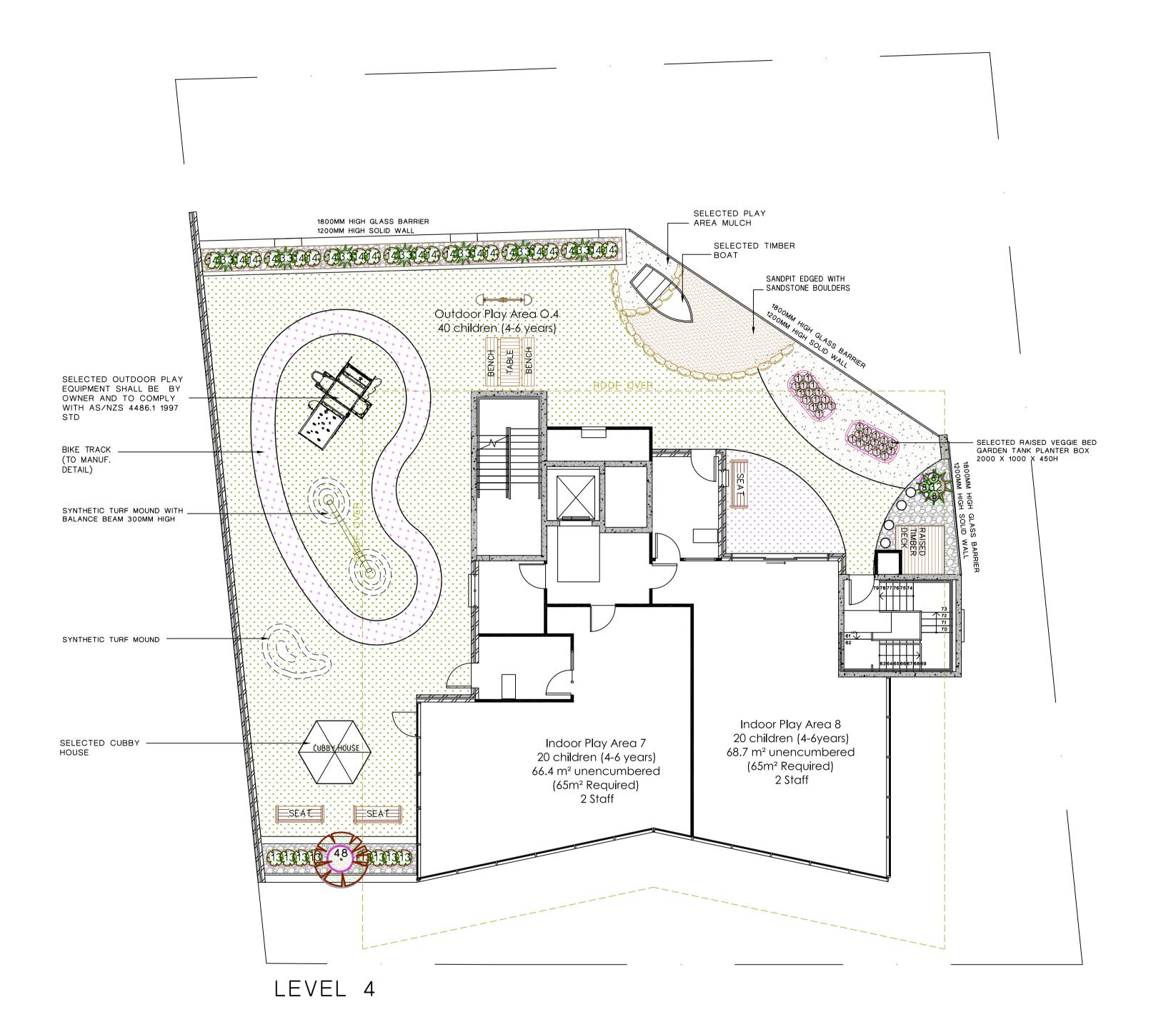
PLAN

DRAWN FF | SCALE | 1: 100@A1 OR 1:200@A3 | REV.

DRAWING NUMBER
22 173 DA 5-6

Landscape Design Institute

Fona Fong Associate Member Membership No. 193



REV DESCRIPTION 1.6. 23 AMEND AS TO ARCH. CHG. 13.12 .22 A DA ISSUE

- In the event of anY inconsistency between the architectural plans and stormwater plans, The architectural plan shall prevail to the extent of the inconsistency
- All landscape works shall be carried out by members of the LANDSCAPE CONTRACTORS ASSOCIATION of AUSTRALIA.
- Contractors must verify all dimensions at the site before commencing any work or making any shop drawings which must be approved before manufacturing.
- 4. Do not scale drawing, if in doubt ASK
- This drawing is to be read in conjuction with
- Architectural, Hydraulic and survey plans
- All Existing trees to remain shall be protected as per arborist report & council requirements
- All pruning shall be in accordance with the AS 4373
- 8. Thoroughly eradicate weeds from all garden areas.
- . No variation to the works to be carried out without prior approval from owner.
- 10. All materials to be the best of their respective kinds and shall comply with approved sample type submitted or specified.
- I. Substitution of plant species or varieties will not be permitted.
- 12. Unless otherwise specified or directed, all instructions are to be issued by the consulting landscape designer. 13. All storm water outlets & surface run off shall be
- to Hydraulic Engineers detail. 14. Provide sub-soil drainage to garden beds & lawn
- areas where required To be confirmed on site.
- 15. Refer to survey plan for position of all existing services.
- 16. Refer to Architectural elevations & Sections for existing and proposed ground lines.
- 17. All landscape works shall comply with all councils DA & CC conditions and all relevant "AUSTRALIAN STANDARDS" and AUS SPEC NO.1 Specification C273-Landscaping.
- 8. Irrigation system If required, shall be designed & installed to comply with AS 2698, AS 2698.1-1994, AS 2698.2-1985, AS 2698.3-1990, water board and other relevant authority regulations.

MAINTENANCE

- All landscape works are to be maintained for a period of 12 months (or as required by council DA Consent) by landscape contractor after final completion AND shall be maintained at all times in a suitable manner. Replace all plants which have failed with the same species. Mulch is to be maintained at specified depth. All plants and turf shall be watered on a regular basis to maintain moisture levels required for optimum growth. All garden areas are to be maintained free from weeds.

0 1 2 3 4 5 SCALE

PROPOSED COMMERCIAL & CHILDCARE CENTRE

2& 2a Joyner Street, WESTMEAD





m: 0412 282 888 Ph: (02) 9499 8888

rem : visiondynamics @ westnet.com.au LANDSCAPE CONCEPT

PLAN DRAWN FF | SCALE | 1:100@A1 OR 1:200@A3 | REV.

DRAWING NUMBER 22173 DA 6-6